

**THE CORPORATION OF THE TOWN OF GEORGINA
ADVISEMENT OF UPCOMING COUNCIL MEETING**

A public meeting under the Planning Act was held concerning below applications on March 28, 2018. You are receiving this advisement as you requested to be informed of future council meetings or decisions.

April 17, 2024, at 7:00 p.m.

The Meeting will be held in a hybrid format, both in person and through the Town website, and can be viewed at <https://www.georgina.ca/municipal-government/council-meetings/livearchived-meeting-broadcasts>

Please note that the below applications, along with other matters, will be dealt with in the order that they appear on the agenda or as Council may determine.

FILE NO.: 03.1121
ADDRESS: 255 Lake Drive North, Keswick
LEGAL DESCRIPTION: Part Lot 18, Concession 2 (NG)

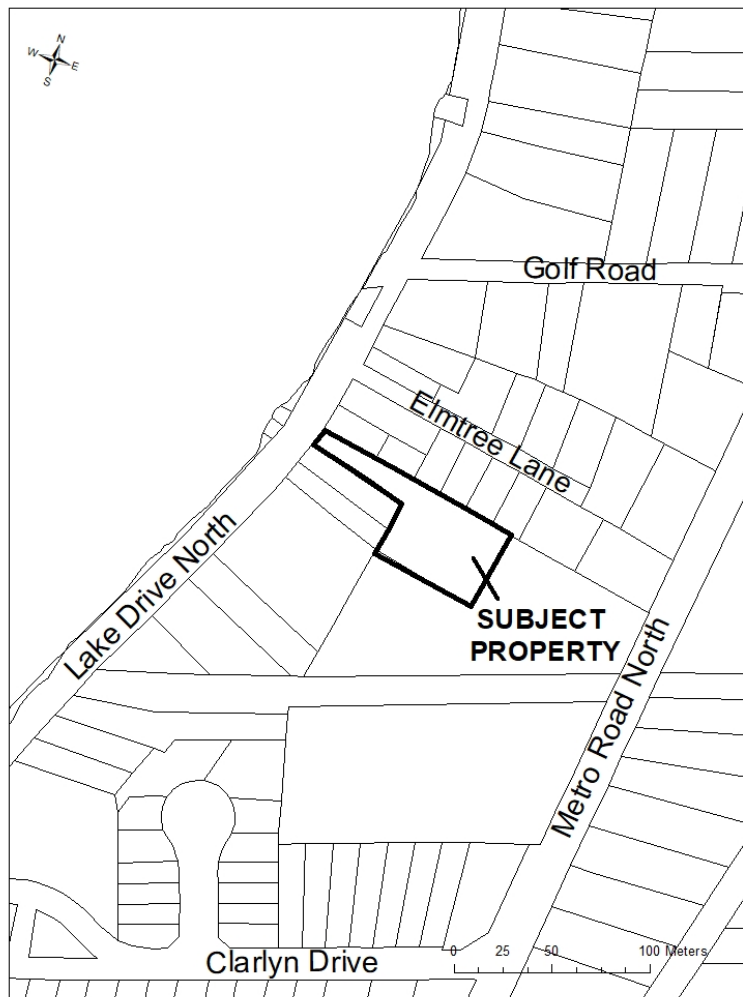
APPLICANT: Ken Craine and Marianne Ellis
AGENT: Michael Smith Planning Consultants; Development Coordinators
WARD (COUNCILLOR): Ward 3 (Councillor Dave Neeson)

A Zoning By-law Amendment application has been submitted by Michael Smith Planning Consultants; Development Coordinators on behalf of Ken Craine and Marianne Ellis to rezone the above-noted property from Residential ('R') and Transitional ('T') to Site Specific Residential ('R-83') to permit a dwelling in the second storey of an existing detached garage. The property currently contains two dwellings. One of the existing dwellings will be converted into an accessory building such that if the application is approved the site will continue to have two dwellings.

The proposed development concept plan is attached to this notice.

A key map showing the location of the subject property is provided below and the proposed site plan is attached. **Direct inquiries to Brittany Dobrindt, Planner 1 at ext. 2442 or bdobrindt@georgina.ca** Please reference the File Numbers in all communications.

KEY MAP



DATED AT THE TOWN OF GEORGINA THIS 2nd DAY OF APRIL, 2024

ADDITIONAL INFORMATION:

Additional information and/or material related to the proposal, including the proposed Zoning By-law Amendment, is available upon request. For more information about this matter, please contact the Planner assigned to the file, as noted above.

The staff report to be considered by Council will be available on April 11, 2024 upon request from the above-noted Planner or online within the full Council Agenda at <https://www.georgina.ca/municipal-government/council-meetings/agendas-and-minutes>.

PROVIDING COMMENT:

Any person may make written or verbal representation either in support of or in opposition to the applications.

Council meetings will be held in a hybrid format with in-person and electronic participation. For those who wish to make verbal representation at this Council meeting, you may participate in the meeting remotely or in-person.

Submit a Request to Speak form (included with this notice) to Clerk's Division no later than 12:00 pm (noon) on the last business day prior to the scheduled meeting.

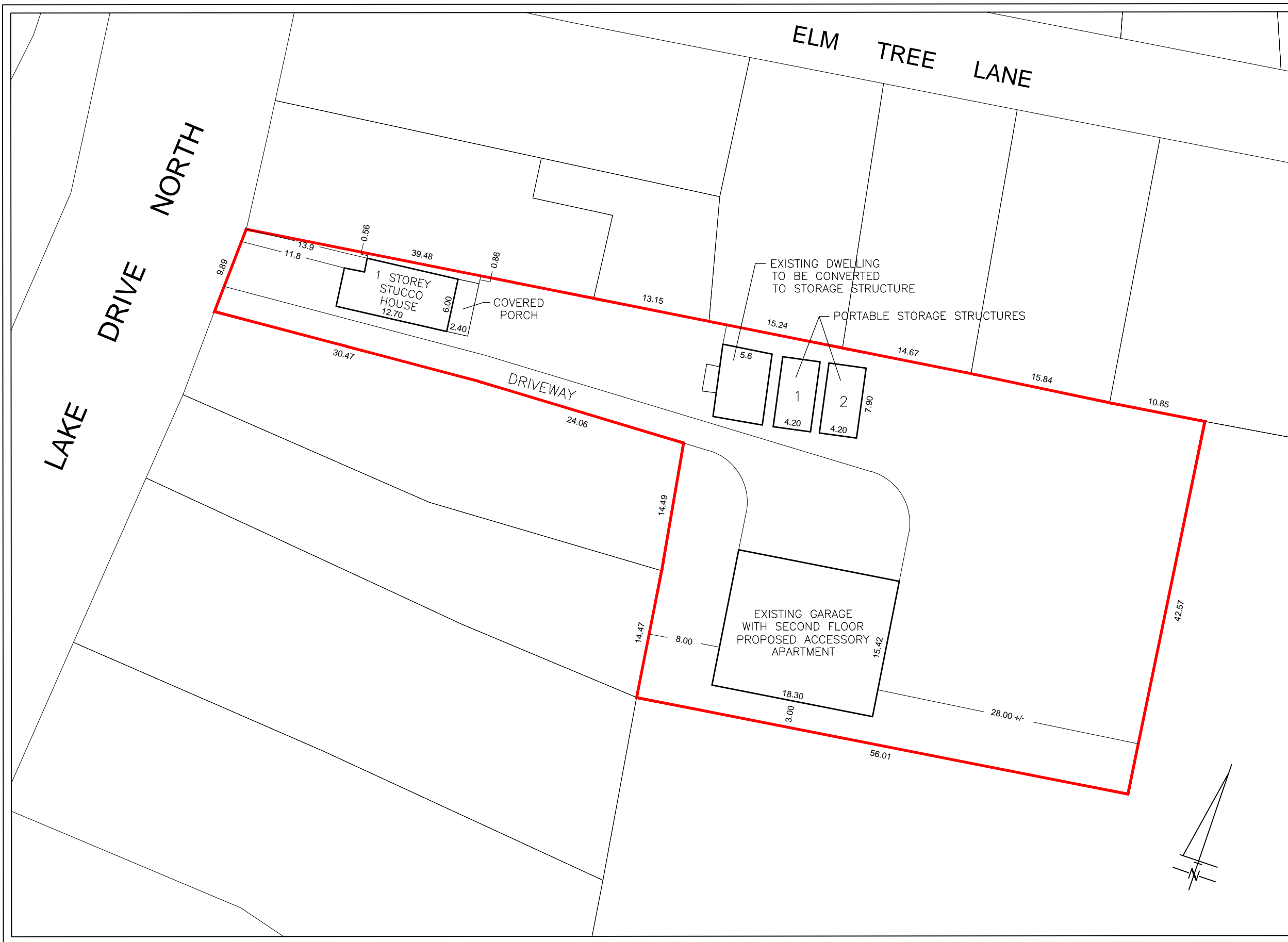
Written comments should be mailed/emailed to the Planner noted above by the last business day prior to the scheduled meeting.

NOTICE OF COLLECTION OF PERSONAL INFORMATION:

Personal information collected in relation to this application will be used to assist Town Staff and Council to process the application and make a decision on this matter. Such personal information is collected under the authority of the *Municipal Act*, the *Municipal Freedom of Information and Protection of Privacy Act*, the *Planning Act*, and all other relevant legislation, and will become part of the public record, may be viewed by the general public, and may be published in a Planning Report and Council Agenda. Questions about this collection may be directed to the Town Clerk, Rachel Dillabough, at 905-476-4305, ext. 2223, or by email to rdillabough@georgina.ca.

DATED AT THE TOWN OF GEORGINA THIS 2nd DAY OF APRIL, 2024

Town of Georgina address: 26557 Civic Centre Road, Keswick, ON, L4P 3G1

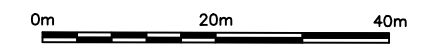


— Subject Lands - 3035m2

MAIN BUILDING	
1 Storey Stucco House	
Ground Floor Area (GFA)	73.51m2
Lot Coverage	2.4%
ACCESSORY BUILDINGS / STRUCTURES	
Covered Porch at Rear of 1 Storey Stucco House	
GFA	16.52m2
Existing Dwelling to be Converted to Storage Structure	
GFA	50.50m2
Portable Storage Structure #1	
GFA	36.34m2
Portable Storage Structure #2	
GFA	33.74m2
Existing Garage/Proposed Second Storey Accessory Apartment	
GFA	282.34m2
Total Ground Floor Area of all Accessory Buildings/Structures	
409.44m2	
Total GFA of all Accessory Buildings and Structures	
13.5%	

SITE PLAN
KEN CRAINE
255 LAKE DRIVE NORTH

LOT 16, REGISTERED PLAN No. 77
AND PART OF LOT 18, CONCESSION 2
FORMERLY TOWNSHIP OF NORTH GWILLIMBURY, COUNTY OF YORK
TOWN OF GEORGINA
REGIONAL MUNICIPALITY OF YORK



No.	Revisions	Date
1		
2		
3		
4		
5		
6		
7		

Michael Smith PLANNING CONSULTANTS
DEVELOPMENT COORDINATORS LTD.

Drawn by: VT Date: JAN 11, 2024 Drawing Number: 1144-00
 Checked by: M.R.S. Scale:
 Approved by: M.R.S.

