



**THE CORPORATION OF THE
TOWN OF GEORGINA
Georgina Heritage Advisory Committee Agenda**

Wednesday, September 23, 2020
6:30 PM

Pages

1. CALL TO ORDER

“We would like to begin today’s meeting by acknowledging that the Town of Georgina is located over lands originally used and occupied by the First Peoples of the Williams Treaties First Nations and other Indigenous Peoples and thank them for sharing this land. We would also like to acknowledge the Chippewas of Georgina Island First Nation as our close neighbour and friend, one with which we strive to build a cooperative and respectful relationship.”

2. ROLL CALL

3. INTRODUCTION OF ADDENDUM ITEM(S)

4. APPROVAL OF AGENDA

5. DECLARATION OF PECUNIARY INTEREST AND GENERAL NATURE THEREOF

6. ADOPTION OF MINUTES

That the following minutes be adopted as presented:

1. Minutes of the Committee Meeting held on February 19, 2020.

4

7. SPEAKERS

1. Paul Brady, Bonnie Park/Lorne Park

Mr. Brady is in attendance of the meeting to answer any questions about his designation request for Bonnie Park/Lorne Park.

8. DELEGATIONS/ PETITIONS

9. PRESENTATIONS

10. REPORTS

1.	Demolition Reports	10
2.	Application for a Permit to Demolish 2905 Baseline Road	13
3.	30 Hadden Road Permit for substantial renovations	16
4.	Designation: Bonnie Park/Lorne Park PIN 03518-0512 (LT) The attached report is for information purposes only.	26
5.	299 Hedge Road Potential permit for demolition or major renovation Advisement: Questions may be circulated prior to the meeting.	30

11. GENERAL INFORMATION ITEMS

1.	Heritage Incentives Update	31
2.	2019 Public Street Name Campaign	33
3.	Information Purposes Only 120 High Street is a listed property but not designated. There was a vehicle Impact where basic renovations will be done as defined by 11.3 of the 2012 Ontario Building Code.	
4.	Information Purposes Only - Georgina Heritage Committee Award Council Resolution: RESOLUTION NO. C-2020-0107 Moved By Councillor Sebo, Seconded By Councillor Harding That Council approve an annual Heritage Recognition Award through the Georgina Heritage Advisory Committee to be awarded during Heritage Month of June to recognize a nominee for their contribution to the preservation of the history of our town and to encourage others through public awareness to become knowledgeable and appreciative of our past and that this direction be referred to the appropriate staff for coordination. Carried.	

12. MOTIONS/ NOTICES OF MOTION

13. OTHER BUSINESS

1. Distribution of Plaques
 - a. Orchard Beach Plaque
 - b. Plaque's for 5 different properties
2. Interpretive Signs
 - a. Mill Pond
 - b. Malone Point

Councillor Sebo verbal update

14. CLOSED SESSION

15. MOTION TO ADJOURN

**THE CORPORATION OF THE TOWN OF
GEORGINA HERITAGE ADVISORY COMMITTEE
MINUTES**

Wednesday, February 19, 2020
6:30 PM
Council Chambers

1. CALL TO ORDER

The meeting was called to order at 6:35 p.m.

“We would like to begin today’s meeting by acknowledging that the Town of Georgina is located over lands originally used and occupied by the First Peoples of the Williams Treaties First Nations and other Indigenous Peoples and thank them for sharing this land. We would also like to acknowledge the Chippewa’s of Georgina Island First Nation as our close neighbor and friend, one with which we strive to build a cooperative and respectful relationship.”

2. ROLL CALL

The following Committee members were in attendance:

Terry Russell, Chair
Denise Roy, Vice Chair
Councillor Frank Sebo
Allan Morton
Wei Hwa (left at 8:45 p.m.)
Krista Barclay
Deidre Lawrence

The following Committee member was absent:

The following staff members were in attendance:

Tolek Makearewicz, Senior Policy Planner
Sandra Dipietrantonio, Records Coordinator

3. INTRODUCTION OF ADDENDUM ITEMS – *None*

4. APPROVAL OF AGENDA

Moved by Denise Roy, Seconded by Allan Morton

RESOLUTION NO. GHC-2020-0005

That the Georgina Heritage Committee February 19, 2020, agenda be approved.

Carried.

5. DECLARATIONS OF PECUNIARY INTEREST AND GENERAL NATURE THEREOF - *None*
6. ADOPTION OF MINUTES
 - (1) Minutes of Georgina Heritage Committee meeting January 15, 2020 be adopted.

Moved by Wei Hwa, Seconded by Denise Roy

RESOLUTION NO. GHC-2020-0006

That the Georgina Heritage Committee January 15, 2020, minutes be adopted.

Carried.

7. DELEGATIONS/SPEAKERS - *None*
8. PRESENTATIONS - *None*
9. REPORTS
 - (1) Demolition Reports January 3, 2020 to February 2, 2020.

Moved by Denise Roy, Seconded by Allan Morton

RESOLUTION NO. GHC-2020-0007

That the Georgina Heritage Committee (GHC) receive the demolition reports from January 3, 2020 to February 2, 2020.

Carried.

10. COMMUNICATIONS
 - (1) Notice of Application: Church Street and 24996 Woodbine Avenue.

Tolek went through the planning requirements and clarified the need for this notice.
 - (2) Notice of Public Meeting and Request for Comments: Zoning Standards For Cannabis Production Facilities

Tolek went through the planning requirements and explained that there will be public meetings for people to bring forward their inputs and concerns.

(3) 379A Bouchier – Application for a Permit to Construct

Allan Morton requested an Evaluation Assessment Report be done by the owner of the property. Tolek explained that during the planning process that any evaluation concerns are taken care at the time of application.

Councillor Frank Sebo asked if an invite could be extended to Velvet Ross, Manager of Planning to explain the Street Naming process.

Moved by Denise Roy, Seconded by Allan Morton

RESOLUTION NO. GHC-2020-0008

That the Georgina Heritage Committee Receive Communications 10.1 through 10.3

- (1) Notice of Application: Church Street and 24996 Woodbine Avenue.
- (2) Notice of Public Meeting and Request for Comments: Zoning Standards
- (3) 379A Bouchier – Application for a Permit to Construction

Carried.

11. OTHER BUSINESS

(1) Pioneer Village Needs Assessment

RESOLUTION NO. C-2019-0660

That Council approve the Pioneer Cemetery Needs Assessment, Item No. 20-OI-12, in the amount of \$50,000, that the Georgina Historical Society and Georgina Heritage Advisory Committee be involved in the Needs Assessment study and that the Pioneer Cemetery Needs Assessment Business Case be forwarded to Scot Davidson, MP and Caroline Mulroney, MPP to request assistance in restoring and maintaining the several pioneer cemeteries within Georgina based on their historical significance.

Carried.

- (2) Plaques (Ongoing discussion)
 - a. Plaque gifting ceremony

Option 1

Invite residents to an evening meeting to be presented plaques at Council.

Option 2

Set up dates with Committee members and property owners to have plaque ceremony and unveiling at their property. Once dates have been established invite members of Council to attend.

The members agreed to vote for Option 2 and the date to be set for a Saturday in June. A Doodle Poll will go out with some date options.

b. Candidate properties

(3) Infographics (interpretive signs)

- a. Mill Pond
- b. Malone Point

Allan Morton to revise the signs wording and send back to the members for approval.

(4) GHC Award

Deirdre handed out correspondence on the Heritage Recognition Award and Councillor Sebo asked that Terry Russell provide a letter of explanation to provide to council.

Moved by Krista Barclay, Seconded by Wei Hwa

RESOLUTION NO. GHC-2020-0009

That the Georgina Heritage Advisory Committee ask Council for approval to distribute a Heritage Recognition Award every year during Heritage month and that Terry Russell, Chair provide an explanatory note for the reason for this request.

Carried.

(5) Designation

A. Properties under current consideration (ongoing):

1. Ainsley Hill: Shouldice Property 216-235 Catering Road – No update at this time.
2. Suggestion: Railway and enterprise shipwreck- No update at this time.

B. To be considered at future date:

1. Suggestion: The Briars, stable and old tree – No update at this time.

C. Designation process underway

1. Mann Cemetery on Queensway North, Keswick –This process is underway, remove from future agenda items.

(6) CHO Workshop opportunity

Krista will get in touch with the CHO Trainers to see what workshops are currently available and will report back to the committee.

(7) St. James Parish Hall, fundraising opportunity

The Parish will be setting up a meeting and will invite will go out to all interested parties.

(8) Heritage Register

- a. Proposed list of properties to be recommended to Council

Allan Morton provided this list via email and Tolek will review to ensure that the address is correct before bringing this to Council.

(9) 115 Hadden – no update at this time.

(10) Elm Grove Hall – no update at this time.

(11) Financial Incentives

Councillor Frank Sebo, said that the CAO was getting in touch with York Region and will bring a report back to Council at a later date.

(12) Historic Context/theme for Georgina's Cottage Industry – no update at this time.

12. CLOSED SESSION, IF REQUIRED

13. MOTION TO ADJOURN

Next Meeting: Wednesday, April 15, 2020

Moved by Allan Morton, Seconded by Denise Roy

RESOLUTION NO. GHC-2020-0010

That the Georgina Heritage Committee February 19, 2020, meeting adjourn at 9:25 p.m.

Carried.

Terry Russell, Chair

Sandra Dipietrantonio
Records Coordinator

DEMOLITION



Permit Type : All
 Permit No. : All
 District : All
 Area : All
 Plan : All
 Lot : All
 Project Code : All
 Issue Date : [01 Feb 2020] To [16 Sep 2020]
 Completed Date : All

Block : All
 Section : All
 Town : All
 District Lot : All
 Zone : All
 Permit Status : All
 Print Permit w/ No Inspections Since :
 Print Name and Address : No (Hide Owner's Phone #)

Permit No.	Owner Name	Issue Date	Roll No.	Project Value	Fee
200026		25-Mar-2020	000 12815600.0000	0.00	845.00
	Address:		District:	Zone:	
			Area:	Expiry Date: 25-Mar-2021	
			Project Address: 3 LAKE DR E		
			Contractor Name:		
			Construction Purpose: DEMOLITION SFD 1 UNIT		
			EXIST. GARAGE & ACCESSORY BUILDINGS TO REMAIN		
	Legals:				
200042		10-Mar-2020	000 14512000.0000	10,000.00	528.00
	Address:		District:	Zone:	
			Area:	Expiry Date: 10-Mar-2021	
			Project Address: 205 CAMERON CRES		
			Contractor Name:		
			Construction Purpose: DEMOLITION SFD 1 UNIT		
	Legals:				
200058		18-Feb-2020	000 04365000.0000	10,000.00	264.00
	Address:		District:	Zone:	
			Area:	Expiry Date: 17-Feb-2021	
			Project Address: 1 BAYVISTA LANE		
			Contractor Name:		
			Construction Purpose: DEMOLISH 1 COTTAGE AND 1 SHED		
	Legals:				
200079		11-Mar-2020	000 14133800.0000	10,000.00	864.00
	Address:		District:	Zone:	
			Area:	Expiry Date: 11-Mar-2021	
			Project Address: 337 PASADENA DR		
			Contractor Name:		
			Construction Purpose: DEMOLITION SFD 1 UNIT(PARTIAL FOUNDATION TO		
			REMAIN		
			- LESS THAN 25% OF TOTAL NEW FOUNDATION)		
	Legals:				
200130		27-Apr-2020	000 14515800.0000	2,000.00	540.00
	Address:		District:	Zone:	
			Area:	Expiry Date: 27-Apr-2021	
			Project Address: 30 SPRINGWATER DR		
			Contractor Name:		
			Construction Purpose: DEMOLISH SFD 1 UNIT, REMOVE TRAILER &		
			ACCESSORY STRUCTURE		
	Legals:				
200142		13-Jul-2020	000 04415000.0000	0.00	594.00
	Address:		District:	Zone:	
			Area:	Expiry Date: 13-Jul-2021	
			Project Address: 46 BLUE HERON DR		
			Contractor Name:		
			Construction Purpose: DEMOLISH EXISTING COTTAGE AND EXISTING		
			BOATHOUSE		
	Legals:				
200253		12-May-2020	000 13391200.0000	0.00	594.00
	Address:		District:	Zone:	
			Area:	Expiry Date: 12-May-2021	
			Project Address: 27022 KENNEDY RD		
			Contractor Name:		
			Construction Purpose: DEMOLITION- SFD 1 UNIT AND 1 SHED		
	Legals:				

DEMOLITION



Permit Type : All
 Permit No. : All
 District : All
 Area : All
 Plan : All
 Lot : All
 Project Code : All
 Issue Date : [01 Feb 2020] To [16 Sep 2020]
 Completed Date : All

Block : All
 Section : All
 Town : All
 District Lot : All
 Zone : All
 Permit Status : All
 Print Permit w/ No Inspections Since :
 Print Name and Address : No (Hide Owner's Phone #)

Permit No.	Owner Name	Issue Date	Roll No.	Project Value	Fee
200283		24-Aug-2020	000 12806500.0000	2,000.00	540.00
	Address:		District:	Zone:	
			Area:	Expiry Date:	
			Project Address: 87 LAKE DR E		
			Contractor Name:		
			Construction Purpose: DEMOLISH 1 SFD		
	Legals:				
200288		14-Jul-2020	000 03506000.0000	5,000.00	260.00
	Address:		District:	Zone:	
			Area:	Expiry Date: 14-Jul-2021	
			Project Address: 111 SIBBALD RD		
			Contractor Name:		
			Construction Purpose: DEMOLISH ACCESSORY STRUCTURE		
	Legals: Lot : 61				
200333		10-Jun-2020	000 14404900.0000	1,500.00	594.00
	Address:		District:	Zone:	
			Area:	Expiry Date: 10-Jun-2021	
			Project Address: 250 ROYAL RD		
			Contractor Name:		
			Construction Purpose: DEMOLISH SFD 1 UNIT AND 1 DETACHED GARAGE		
	Legals:				
200351		23-Jun-2020	000 14591500.0000	0.00	454.00
	Address:		District:	Zone:	
			Area:	Expiry Date:	
			Project Address: 262 PLEASANT BLVD		
			Contractor Name:		
			Construction Purpose: DEMOLITION 1 DETACHED GARAGE (NEW GARAGE PERMIT#200352)		
	Legals:				
200545		14-Jul-2020	000 07115700.0000	18,000.00	540.00
	Address:		District:	Zone:	
			Area:	Expiry Date: 14-Jul-2021	
			Project Address: 7 - 113 NORTH ST		
			Contractor Name:		
			Construction Purpose: DEMOLITION DUE TO FIRE DAMAGE		
	Legals:				
200546		14-Jul-2020	000 07115800.0000	18,000.00	540.00
	Address:		District:	Zone:	
			Area:	Expiry Date:	
			Project Address: 8 - 113 NORTH ST		
			Contractor Name:		
			Construction Purpose: DEMOLITION DUE TO FIRE DAMAGE		
	Legals:				
200547		14-Jul-2020	000 07115900.0000	18,000.00	540.00
	Address:		District:	Zone:	
			Area:	Expiry Date: 14-Jul-2021	
			Project Address: 9 - 113 NORTH ST		
			Contractor Name:		
			Construction Purpose: DEMOLITION DUE TO FIRE DAMAGE		
	Legals:				

Building Permit Listing

DEMOLITION



BP5020

Date : Sep 16, 2020

Page : 59

Time : 3:01 pm

Permit Type : All
 Permit No. : All
 District : All
 Area : All
 Plan : All
 Lot : All
 Project Code : All
 Issue Date : [01 Feb 2020] To [16 Sep 2020]
 Completed Date : All

Block : All
 Section : All
 Town : All
 District Lot : All
 Zone : All
 Permit Status : All
 Print Permit w/ No Inspections Since :
 Print Name and Address : No (Hide Owner's Phone #)

Permit No.	Owner Name	Issue Date	Roll No.	Project Value	Fee
200618		07-Aug-2020	000 05167500.0000	0.00	130.00
	Address:		District:	Zone:	
			Area:	Expiry Date: 07-Aug-2021	
			Project Address: 32 KLIMEK BLVD		
			Contractor Name:		
			Construction Purpose: DEMOLITION OF 1 ACCESSORY STRUCTURE		
	Legals: Lot : 22				
200696		12-Aug-2020	000 04217000.0000	30,000.00	540.00
	Address:		District:	Zone:	
			Area:	Expiry Date: 12-Aug-2021	
			Project Address: 115 HADDEN RD		
			Contractor Name:		
			Construction Purpose: DEMOLISH ONE SINGLE FAMILY DWELLING		
	Legals:				
200749		23-Aug-2020	000 13442100.0000	5,000.00	216.00
	Address:		District:	Zone:	
			Area:	Expiry Date: 23-Aug-2021	
			Project Address: 27 FARLEY CIR		
			Contractor Name:		
			Construction Purpose: DEMOLITION SFD I UNIT NEW SFD# 200737		
	Legals:				
200795		31-Aug-2020	000 09812500.0000	0.00	216.00
	Address:		District:	Zone:	
			Area:	Expiry Date:	
			Project Address: 129 LAKE DR N		
			Contractor Name:		
			Construction Purpose: DEMOLITION SFD		
	Legals:				
200816		31-Aug-2020	000 12334702.0000	9,750.00	216.00
	Address:		District:	Zone:	
			Area:	Expiry Date: 31-Aug-2021	
			Project Address: 929 LAKE DR N		
			Contractor Name:		
			Construction Purpose: DEMOLISH EXISTING SFD		
	Legals: Lot : 67				

Summary For This Run:

No. of DEMOLITION Listed : 19
 Total Construction Value : 139,250.00
 Total Fees : 9,015.00

Application for a Permit to Construct or Demolish

This form is authorized under subsection 8(1.1) of the Building Code Act.

For use by Principal Authority			
Application number:		Permit number (if different):	
Date received: March 11, 2020		Roll number: 109850	
<p align="center">TOWN OF GEORGINA</p> <p>Application submitted to: <u>Town of Georgina</u> (Name of municipality, upper-tier municipality, board of health or conservation authority)</p>			
A. Project Information			
Building number, street name 2905 Baseline Rd		Unit number	Lot/con.
Closest Cross Street	Postal code	Plan number/other description	
Project value est. \$		Area of work (m ² or ft ²)	
B. Purpose of application			
<input type="checkbox"/> New construction <input type="checkbox"/> Addition to an existing building <input type="checkbox"/> Alteration/repair <input checked="" type="checkbox"/> Demolition <input type="checkbox"/> Conditional Permit			
Proposed use of building		Current use of building SFD Unit	
Description of proposed work Demolish buildings & out buildings to comply with Town of Georgina's "ORDER TO REMEDY." 1 SFD, 1 Barn.			
C. Applicant			
Applicant is: <input checked="" type="checkbox"/> Owner or <input type="checkbox"/> Authorized agent of owner			
Last name		First name	Corporation or partnership
Street address, P.O. Box		Unit number	Lot/con.
Town	Postal code	Province	E-mail
Telephone number	Fax ()	Cell number	
D. Owner (if different from applicant)			
Last name		First name	Corporation or partnership
Street address, P.O. Box		Unit number	Lot/con.
Town	Postal code	Province	E-mail
Telephone number ()	Fax ()	Cell number ()	

LETTER OF AUTHORIZATION

Roll Number	109 850
Project Location	2905 Baseline Rd.
Legal Description	
Property Owner	
Phone Number	

To Whom It May Concern:

I/We, the above, do give SECTION 14(2) permission
(APPLICANT NAME)
to act as our agent in applying to the Town of Georgina for a building permit for
the following projects:

(check all that apply)

- ☒ Demolition of Accessory Structure
- ☒ Demolition of Residential Building
- ☐ Construction of Single Detached Dwelling
- ☐ Addition to Dwelling
- ☐ Construction of Accessory Structure
- ☐ Deck Construction
- ☐ Renovation
- ☐ Pool
- ☐ Site Alteration Permit
- ☐ Permit to Connect
- ☐ Commercial Renovation
- ☐ Other: (please specify) _____

	Signed	Date
Property Owner	<u>SECTION 14(2)</u>	Mar 11, 2020
Property Owner		

Application for a Permit to Construct or Demolish

This form is authorized under subsection 8(1.1) of the Building Code Act.

For use by Principal Authority			
Application number: 200 580		Permit number (if different):	
Date received: June 29, 2020		Roll number: 042 156	
TOWN OF GEORGINA			
Application submitted to: _____ (Name of municipality, upper-tier municipality, board of health or conservation authority)			
A. Project Information			
Building number, street name 30 Hadden Road		Unit number	Lot/con. 12/7
Closest Cross Street Black Creek Dr.	Postal code LOE 1K0	Plan number/other description Plan # 191	
Project value est. \$ \$300,000.00		Area of work (m ² or ft ²) 2,318 ft²	
B. Purpose of application			
<input type="checkbox"/> New construction <input checked="" type="checkbox"/> Addition to an existing building <input checked="" type="checkbox"/> Alteration/repair <input type="checkbox"/> Demolition <input type="checkbox"/> Conditional Permit			
Proposed use of building Home or Cottage - single family dwelling - 1 unit		Current use of building unoccupied cottage - single family dwelling - 1 unit	
Description of proposed work			
1. Renovate existing first floor - 970 ft ² 2. Remove and replace covered porch - 210 ft ² 3. Renovate existing 2nd floor - 430 ft ² 4. Add to 2nd floor - 708 ft ² 5. Add covered deck - 620 ft ² 6. Add 2nd floor balcony - 62 ft ²			
C. Applicant			
Applicant is: <input checked="" type="checkbox"/> Owner or <input type="checkbox"/> Authorized agent of owner			
Last name		First name	
Street address, P.O. Box		Corporation or partnership	
Town	Postal code	Province	E-mail
Telephone number	Fax	Cell number	
D. Owner (if different from applicant)			
Last name		First name	
Street address, P.O. Box		Corporation or partnership	
Town	Postal code	Province	E-mail
Telephone number	Fax	Cell number	

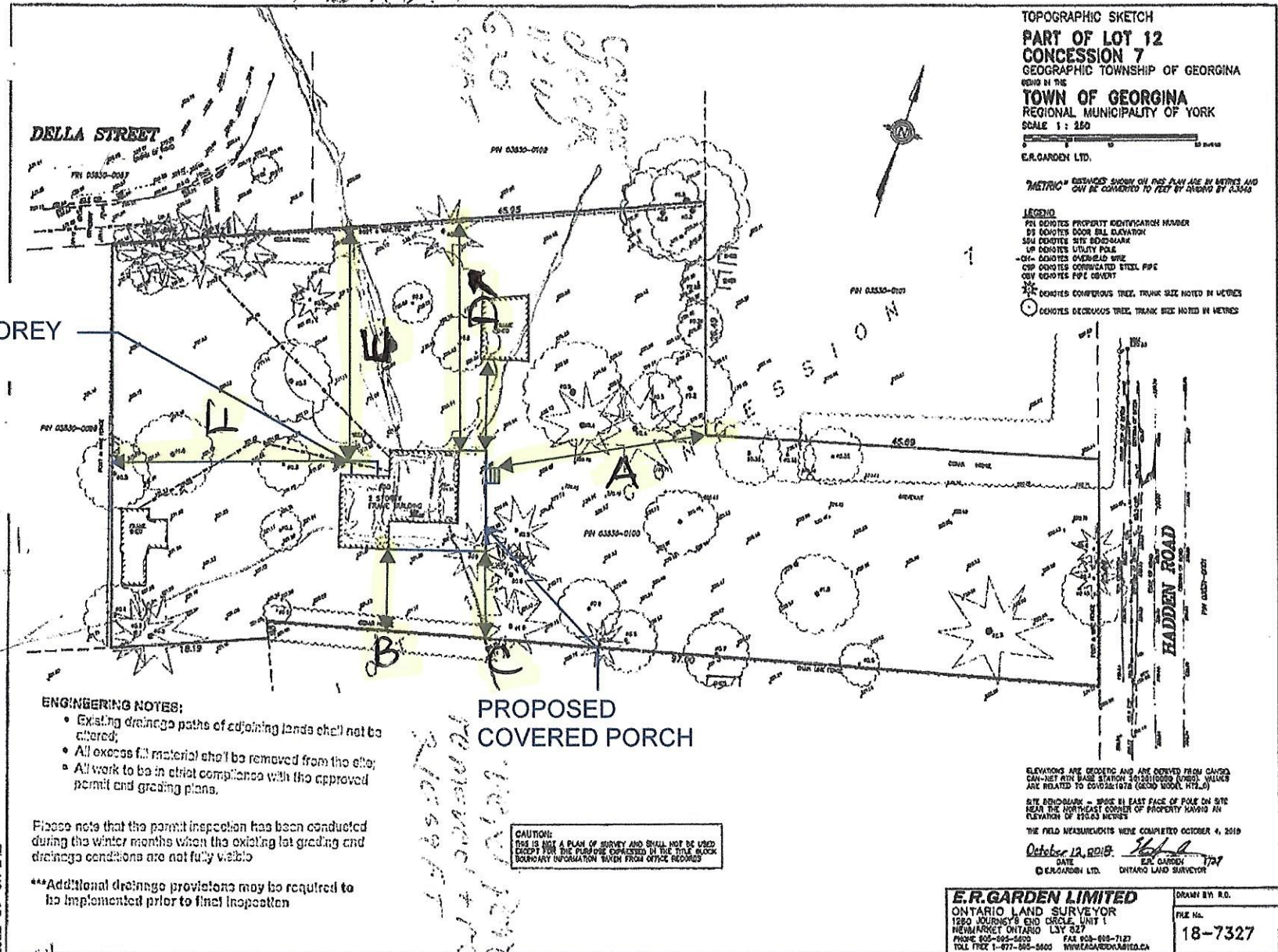
E. Builder (optional)				
Last name <u>Naylor</u>		First name <u>Ron</u>	Corporation or partnership (if applicable)	
Street address, P.O. Box			Unit number	Lot/con.
Town	Postal code	Province	E-mail	
Telephone number	Fax	Cell number <u>905-715-1525</u>		
F. Tarion Warranty Corporation (Ontario New Home Warranty Program)				
i. Is proposed construction for a new home as defined in the <i>Ontario New Home Warranties Plan Act</i> ? If no, go to section G.			<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
ii. Is registration required under the <i>Ontario New Home Warranties Plan Act</i> ?			<input type="checkbox"/> Yes	<input type="checkbox"/> No
iii. If yes to (ii) provide registration number(s): _____				
G. Required Schedules				
i) Attach Schedule 1 for each individual who reviews and takes responsibility for design activities. <u>✓ attached</u>				
ii) Attach Schedule 2 where application is to construct on-site, install or repair a sewage system. <u>N/A</u>				
H. Completeness and compliance with applicable law				
i) This application meets all the requirements of clauses 1.3.1.3 (5) (a) to (d) of Division C of the <i>Building Code</i> (the application is made in the correct form and by the owner or authorized agent, all applicable fields have been completed on the application and required schedules, and all required schedules are submitted). Payment has been made of all fees that are required, under the applicable by-law, resolution or regulation made under clause 7(1)(c) of the <i>Building Code Act, 1992</i> , to be paid when the application is made.			<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
ii) This application is accompanied by the plans and specifications prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act, 1992</i> .			<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
iii) This application is accompanied by the information and documents prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act, 1992</i> which enable the chief building official to determine whether the proposed building, construction or demolition will contravene any applicable law.			<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
iv) The proposed building, construction or demolition will not contravene any applicable law.			<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
I. Declaration of applicant				
I, <u>SECTION 14(2)</u> (print name) _____ declare that:				
1. The information contained in this application, attached schedules, attached plans and specifications, and other attached documentation is true to the best of my knowledge.				
2. If the owner is a corporation or partnership, I have the authority to bind the corporation or partnership.				
<u>May 14/2020</u> Date		<u>SECTION 14(2)</u> Signature of applicant		

Personal information contained in this form and schedules is collected under the authority of subsection 8(1.1) of the *Building Code Act, 1992*, and will be used in the administration and enforcement of the *Building Code Act, 1992*. Questions about the collection of personal information may be addressed to: a) the Chief Building Official of the municipality or upper-tier municipality to which this application is being made, or, b) the inspector having the powers and duties of a chief building official in relation to sewage systems or plumbing for an upper-tier municipality, board of health or conservation authority to whom this application is made, or, c) Director, Building and Development Branch, Ministry of Municipal Affairs and Housing 777 Bay St., 2nd Floor. Toronto, M5G 2E5 (416) 585-6666.

overland Drainage
Diffuse Drainage
2nd floor
renovation
430 R44 FT

Site Plan

PROPOSED
SECOND STOREY
BALCONY



A - 25.12 meters
B - 9.25 meters
C - 9.95 meters

Page 18 of 42

D - 26.5 meters
E - 26.38 meters
F - 28.58 meters

RECEIVED
BY THE TOWN OF GEORGINA
Jun. 29, 2020
BUILDING DIVISION



I, the undersigned, has reviewed and takes responsibility for this Design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under
2.17.5.1 of the building code

Scott Dryla 21141
NAME BCIN

SIGNATURE

REGISTRATION INFORMATION
Required unless design is exempt under
2.17.4.1 of the building code

Master-Plan	30578
FORM NAME	BCIN

ilder:

Divisions: _____
 Date: _____ Description: _____

Contractor is to verify all dimensions and conditions on the project and report any discrepancies to Master-Plan before proceeding with work.
Drawings are not to be scaled.

Drawings and specifications remain the property of Master-Plan and may not be used or re-issued without permission. The contractor accepts responsibility for any changes to drawings without the expressed approval of Master-Plan.

Project North:



END: DIMENSIONING NOTES:
ALL DIMENSIONS FOR NEW
CONSTRUCTION ARE FROM FACE
OF STUD TO FACE OF STUD
UNLESS NOTED OTHERWISE.
TO FRAMING MEMBERS.

Subject Title.

arton Residence
30 Hadden Road
Town of Georgina

Project Title:

Existing Foundation

7/ Proposed Decks

Drawn by: _____
Checked by: _____
Scott Pryla

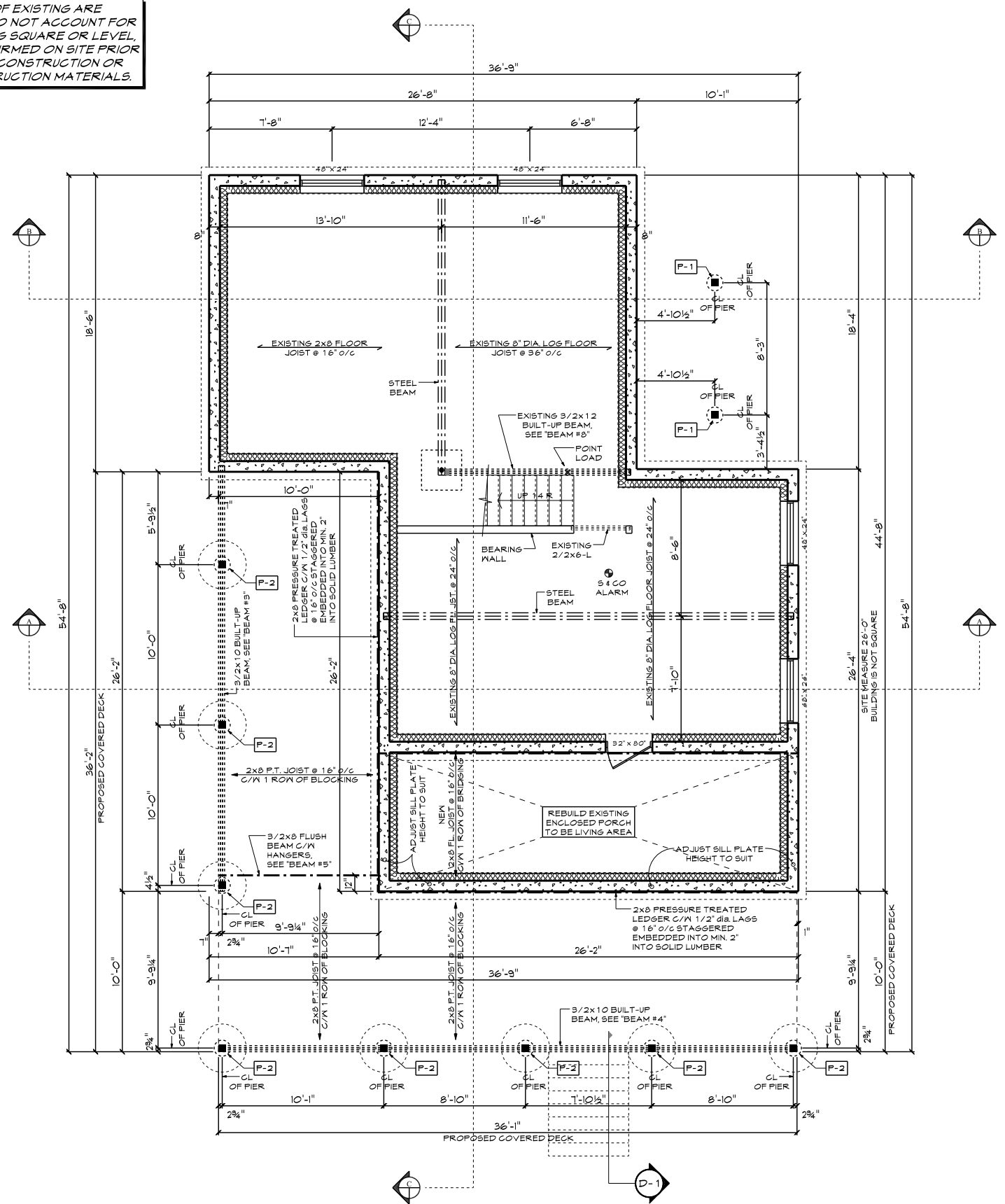
te: Sheet #

1

AI





ject #

ALL DIMENSIONS OF EXISTING ARE SITE MEASURED AND DO NOT ACCOUNT FOR STRUCTURES NOT BEING SQUARE OR LEVEL, DIMENSION TO BE CONFIRMED ON SITE PRIOR COMMENCEMENT OF CONSTRUCTION OR ORDERING OF CONSTRUCTION MATERIALS.

[illegible]

Notes :

- * PROVIDE STUD POSTS & SOLID BLOCKING UNDER ALL GIRDER TRUSS POINT LOADS TO FOUNDATION OF ADEQUATE SUPPORTS.
- * WINDOW & DOOR SIZES INDICATED ARE SUGGESTED ONLY, LITEL SIZES SHOWN REFLECT OPENING SIZES INDICATED ONLY.

EXP	ENGINEERED WOOD PRODUCT AS SPECIFIED BY SUPPLIER
 SMOKE ALARMS & CO DETECTORS ARE TO BE LOCATED ON EACH FLOOR INCLUDING BASEMENT AND WITHIN EACH SLEEPING UNIT AND INTERCONNECTED IN ACCORDANCE WITH 9.10.19 OF THE ONTARIO BUILDING CODE 2012	
 MV MECHANICAL VENT VENTED TO EXTERIOR	
 DV DRYER EXHAUST VENT VENTED TO EXTERIOR	
 FD FLOOR DRAIN	
<div>A.A.</div> MINIMUM 22" x 28" INSULATED MIN R20 ATTIC ACCESS C/N WEATHER STRIPPING AND LATCH CLOSURE	
X POINT LOAD FROM ABOVE	
SP - 1	FLYS OF STUD POST TO EQUAL WIDTH OF SUPPORTED MEMBER

SUPPORT PIERS

P-1 12" Dia. CONCRETE PIER C/W
ABA66Z BASE CONNECTORS &
6x6 P.T. POST C/W AC6 POST CAP

P-2 12" Dia. CONC. PIER C/W 36" Dia.
BIGFOOT FOOTING PAD OR EQUAL
C/W ABA66Z BASE CONNECTORS
& 6x6 P.T. POST C/W AC6 POST CAP

Existing Foundation Plan w/ Proposed Covered Deck

FOR ADDITIONAL INFORMATION
REFER TO PREVIOUSLY PERMITTED

Page 19 of 42

RECEIVED
BY THE TOWN OF GEORGINA
Jun. 29, 2020
BUILDING DIVISION

ENERGY EFFICIENCY DESIGN SUMMARY
- ADDITIONS TO EXISTING BUILDINGS

COMPLIANCE OPTION	SB-12 PRESCRIPTIVE	TABLE:	PACKAGE:
	SB-12-3.1.1.1.1.1.2	3.1.1.1.1.	
PROJECT DESIGN CONDITIONS	CLIMATE ZONE	HEATING EQUIPMENT EFFICIENCY:	SPACE HEATING FUEL SOURCE:
	ZONE 1 (≤ 5000 DEGREE DAYS)		PROPANE

BUILDING COMPONENT	ZONE 1
CEILING WITH ATTIC SPACE	R60
CEILING WITHOUT ATTIC SPACE	R31
EXPOSED FLOOR	R31
WALLS ABOVE GRADE	R50c1
BASEMENT WALLS	20c1
SLAB	-
- greater than 600mm below grade	
SLAB	R10
- edge only less than 600mm below grade	
SLAB	R10
- all less than 600mm below grade, or heated	

BUILDING COMPONENT	EFFICIENCY
WINDOWS & DOORS (1)	
MAXIMUM U-VALUE	RATINGS REQUIRED
WINDOWS/BUILDING GLASS DOORS/SKYLIGHTS	0.28
ENERGY RATING	25
NOTES	
(1) PROVIDE U-VALUE IN W42.K OR ER RATING	
(2) PROVIDE ARIE OR INDICATE F CONDENSING TYPE COMBINED SYSTEM USED	



Scott Dryla
8 Doon Crescent
Kewick, Ontario, L4P 3P8
Phone: 905.252.8417
email: masterplan@rogers.com

The undersigned has reviewed and takes responsibility for this Design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the building code

Scott Dryla 21141
NAME BCIN

SIGNATURE

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1 of the building code

Master-Plan 30578
FIRM NAME BCIN

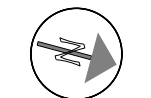
Builder:

Revisions:
Date Description:

Note:
Contractor is to verify all dimensions and conditions on the project and report any discrepancies to Master-Plan before proceeding with work.
Drawings are not to be scaled.

Drawings and specifications remain the property of Master-Plan and may not be used or re-issued without permission. The contractor accepts responsibility for any changes to drawings without the expressed approval of Master-Plan.

Project North:



Legend:
DIMENSIONING NOTES:
ALL DIMENSIONS FOR NEW CONSTRUCTION ARE FROM FACE OF STUD TO FACE OF STUD OR TO FRAMING MEMBERS.

Project Title:

Barton Residence
30 Hadden Road
Town of Georgina

Sheet Title:

Proposed First
Floor Plan

Drawn by: Scott Dryla

Checked by:

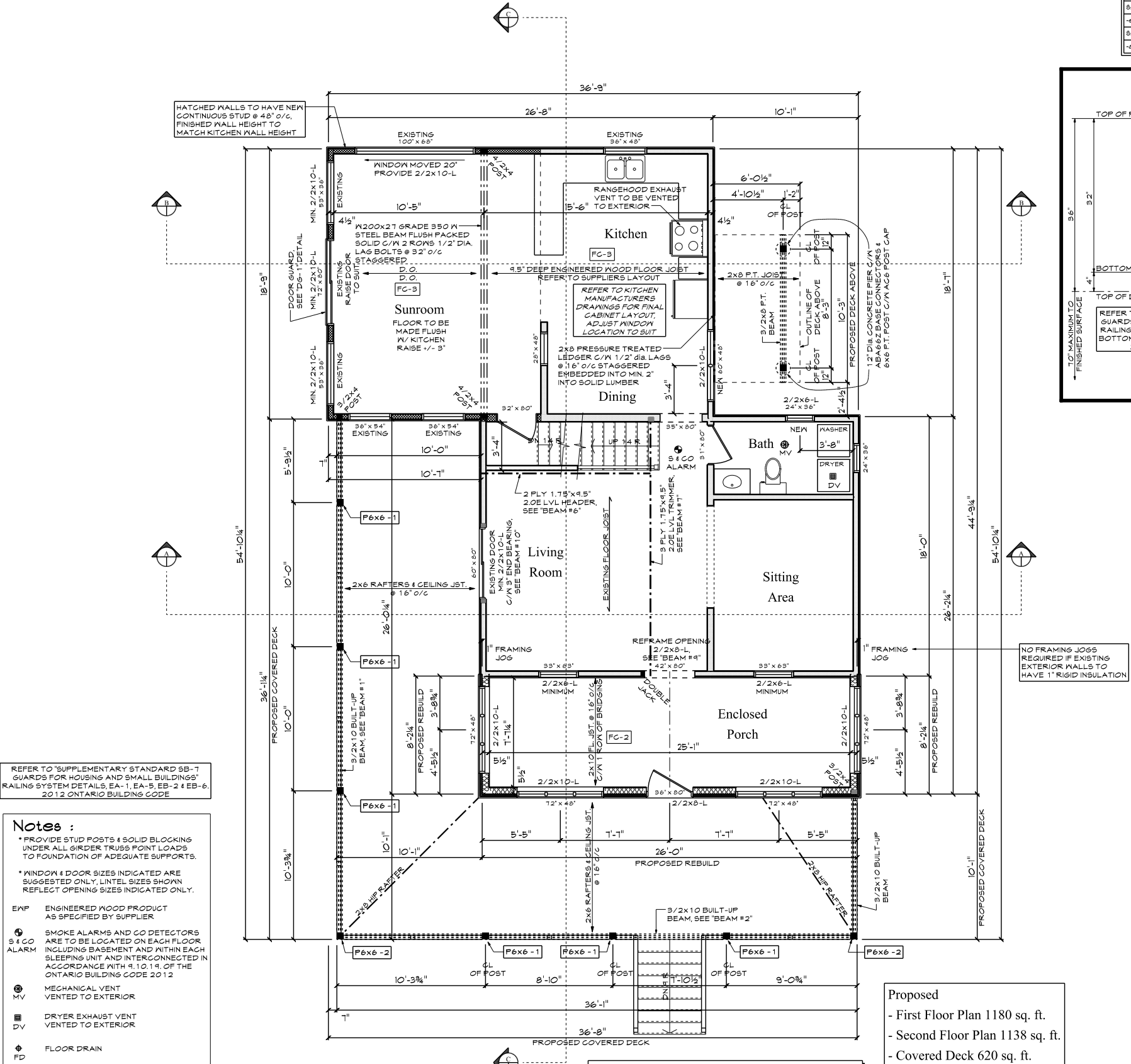
Date: April 16, 2020

Scale: 1/4" = 1'-0"

Project #

A2

RECEIVED
BY THE TOWN OF GEORGINA
Jun. 29, 2020
BUILDING DIVISION



REFER TO 'SUPPLEMENTARY STANDARD SB-7
RAILING SYSTEM DETAILS, EA-1, EA-5, EB-2 & EB-6,
2012 ONTARIO BUILDING CODE

Notes :
* PROVIDE STUD POSTS & SOLID BLOCKING UNDER ALL GIRDER TRUSS POINT LOADS TO FOUNDATION OF ADEQUATE SUPPORTS.
* WINDOW & DOOR SIZES INDICATED ARE SUGGESTED ONLY, LINTEL SIZES SHOWN REFLECT OPENING SIZES INDICATED ONLY.

EMP	ENGINEERED WOOD PRODUCT AS SPECIFIED BY SUPPLIER
SA & CO ALARM	SMOKE ALARMS AND CO DETECTORS ARE TO BE LOCATED ON EACH FLOOR INCLUDING BASEMENT AND WITHIN EACH SLEEPING UNIT AND INTERCONNECTED IN ACCORDANCE WITH 9.10.1.4. OF THE ONTARIO BUILDING CODE 2012
MV	MECHANICAL VENT VENTED TO EXTERIOR
DV	DRYER EXHAUST VENT VENTED TO EXTERIOR
FD	FLOOR DRAIN
AA	MINIMUM 22" x 28" INSULATED (MIN. R20) ATTIC ACCESS C/W WEATHER STRIPPING AND LATCH CLOSURE
X	POINT LOAD FROM ABOVE
SP-1	FLYS OF STUD POST TO EQUAL WIDTH OF SUPPORTED MEMBER

Proposed First Floor Plan
1180 sq. ft.

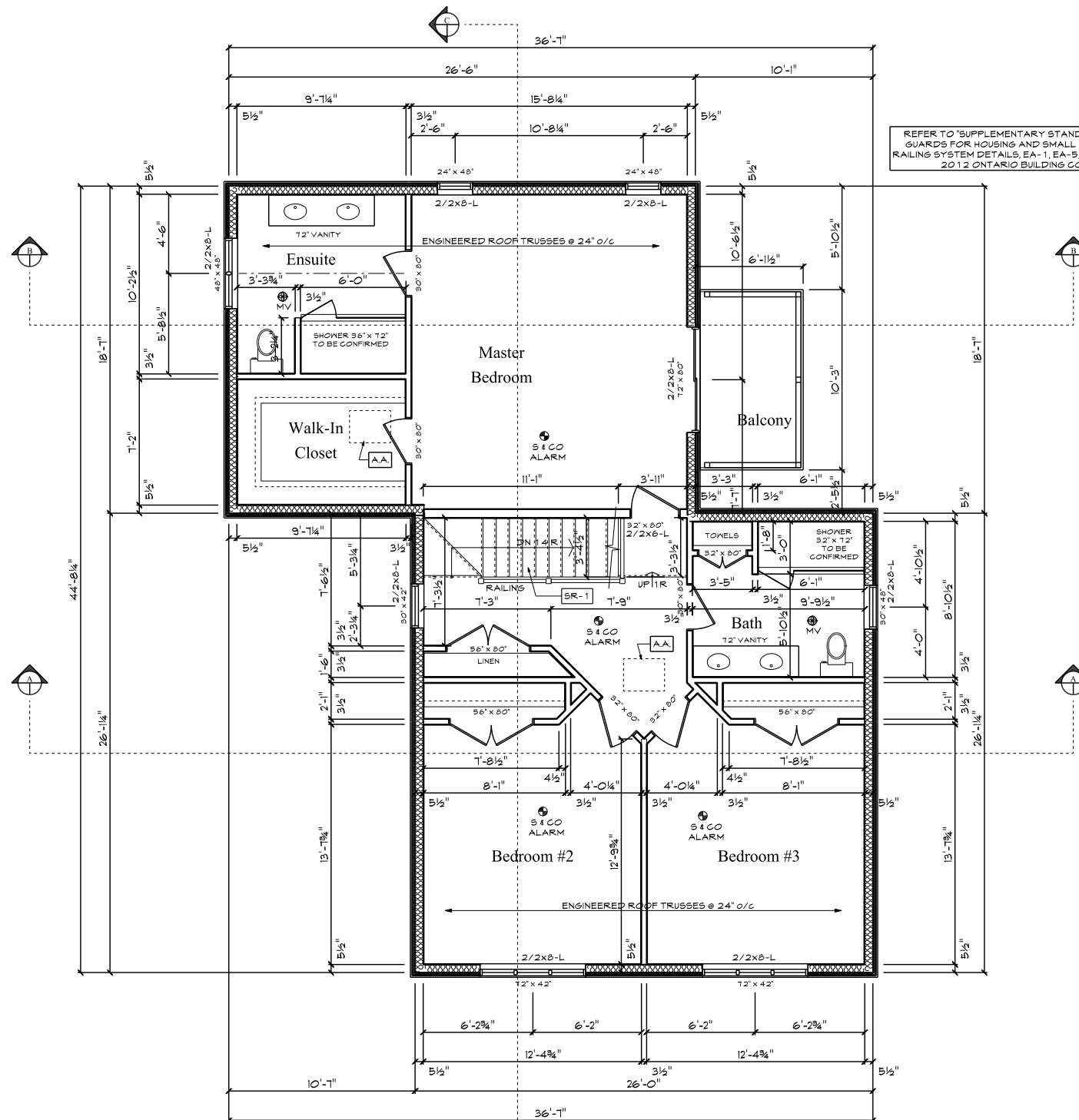
ALL DIMENSIONS OF EXISTING ARE
SITE MEASURED AND DO NOT ACCOUNT FOR
STRUCTURES NOT BEING SQUARE OR LEVEL,
DIMENSION TO BE CONFIRMED ON SITE PRIOR
COMMENCEMENT OF CONSTRUCTION OR
ORDERING OF CONSTRUCTION MATERIALS.

Proposed
- First Floor Plan 1180 sq. ft.
- Second Floor Plan 1138 sq. ft.
- Covered Deck 620 sq. ft.
- Balcony 62 sq. ft.
Existing
- First Floor 970 sq. ft.
- Second Floor 430 sq. ft.
- Covered Porch 210 sq. ft.

- FOUNDATION AND FLOOR NOTES
- FC-1 NEW FLOOR CONSTRUCTION #1
3/4" T&G PLYWOOD SUB-FLOOR NAILED & GLUED TO 2X8 FLOOR JOIST, REFER TO PLANS FOR SPACING AND BRIDGING
- FC-2 NEW FLOOR CONSTRUCTION #2
3/4" T&G PLYWOOD SUB-FLOOR NAILED & GLUED TO 2X10 FLOOR JOIST, REFER TO PLANS FOR SPACING AND BRIDGING
- FC-3 NEW FLOOR CONSTRUCTION #3
3/4" T&G PLYWOOD SUB-FLOOR NAILED & GLUED TO 4.5" DEEP ENGINEERED FLOOR JOIST, REFER TO SUPPLIERS LAYOUT FOR JOIST SERIES & SPACING
- DC-1 DECK CONSTRUCTION #1
5/4x6 P.T. DECKING SCREWED TO 2X8 PRESSURE TREATED JOIST, REFER TO PLANS FOR SPACING & BRIDGING
- SR-1 STAIRS & RAILINGS
ALL STAIRS AND RAILINGS ARE MANUFACTURED AND SHALL CONFORM TO SECTION 9.8 OF O.B.C. STAIRS TO BE DETERMINED ON SITE. 7/8" MAXIMUM RISE, 8 1/4" RUN, 9 1/4" TREAD 1" NOSING AND PROVIDE MINIMUM 6" T" HEADROOM.

- EXTERIOR AND INTERIOR WALL NOTES
- HEX-1 HOUSE EXTERIOR WALL #1
PRE-FINISHED SIDING C/W 1x4 STRAPPING @ 16" O/C IF REQUIRED
HOUSEWRAP AIR BARRIER
1" 5R RIGID INSULATION
7/16" OSB WALL SHEATHING
2X6 STUDS @ 16" O/C C/W DOUBLE TOP PLATE & SINGLE BOTTOM PLATE
R 14 INSULATION
6 mil U/V PROTECTED POLY VAPOUR BARRIER
1/2" DRYMALL
- IN-1 INTERIOR PARTITION #1
2x4 STUDS @ 16" O/C C/W DOUBLE TOP PLATE & SINGLE BOTTOM PLATE
1/2" DRYMALL ON BOTH SIDES
- IN-2 INTERIOR PARTITION #2
2x6 STUDS @ 16" O/C C/W DOUBLE TOP PLATE & SINGLE BOTTOM PLATE
1/2" DRYMALL ON BOTH SIDES
- EEW-1 EXISTING EXTERIOR WALL #1
* NEW SIDING
* NEW 1x4 STRAPPING @ 16" O/C IF REQUIRED
* OPTIONAL 1" R5 RIGID INSULATION, NOT SHOWN
WALL SHEATHING
EXISTING STUD WALL FRAMING
* NEW MIN. R 12 INSULATION
* NEW 1/2" DRYMALL
- EIW-1 EXISTING INTERIOR PARTITION #1
EXISTING STUD WALL FRAMING
* NEW 1/2" DRYMALL ON BOTH SIDES

- SUPPORT POSTS
- P6x6-1 6x6 PRESSURE TREATED POST C/W SIMPSON STRONG TIE AC60 TOP & ABA66Z BASE CONNECTORS.
- P6x6-2 6x6 PRESSURE TREATED POST C/W SIMPSON STRONG TIE AC60 TOP & ABA66Z BASE CONNECTORS.



REFER TO 'SUPPLEMENTARY STANDARD SB-1
GUARDS FOR HOUSING AND SMALL BUILDINGS'
RAILING SYSTEM DETAILS, EA-1, EA-5, EB-2 & EB-6,
2012 ONTARIO BUILDING CODE

EXTERIOR AND INTERIOR WALL NOTES

- HEW-1 HOUSE EXTERIOR WALL #1
PRE-FINISHED SIDING C/W 1x4 STRAPPING @ 16" O/C IF REQUIRED
HOUSEWRAP AIR BARRIER
1" 5R RIGID INSULATION
1/16" OSB WALL SHEATHING
2x6 STUDS @ 16" O/C C/W DOUBLE TOP PLATE & SINGLE BOTTOM PLATE
R-19 INSULATION
6 mil. U/V PROTECTED POLY VAPOUR BARRIER
1/2" DRYWALL
- IN-1 INTERIOR PARTITION #1
2x4 STUDS @ 16" O/C C/W DOUBLE TOP PLATE & SINGLE BOTTOM PLATE
1/2" DRYWALL ON BOTH SIDES
- IN-2 INTERIOR PARTITION #2
2x6 STUDS @ 16" O/C C/W DOUBLE TOP PLATE & SINGLE BOTTOM PLATE
1/2" DRYWALL ON BOTH SIDES
- SR-1 STAIRS & RAILINGS
ALL STAIRS AND RAILINGS ARE MANUFACTURED AND SHALL CONFORM TO SECTION 9.8 OF O.B.C.
STAIRS TO BE DETERMINED ON SITE.
1 7/8" MAXIMUM RISE, 8 1/4" RUN,
4 1/4" TREAD 1" NOSING AND PROVIDE MINIMUM 6'-1" HEADROOM.

Notes :

* PROVIDE STUD POSTS & SOLID BLOCKING UNDER ALL GIRDER TRUSS POINT LOADS TO FOUNDATION OF ADEQUATE SUPPORTS.

* WINDOW & DOOR SIZES INDICATED ARE SUGGESTED ONLY. LINTEL SIZES SHOWN. REFLECT OPENING SIZES INDICATED ONLY.

- EXP ENGINEERED WOOD PRODUCT AS SPECIFIED BY SUPPLIER
- S & CO ALARM SMOKE ALARMS AND CO DETECTORS ARE TO BE LOCATED ON EACH FLOOR INCLUDING BASEMENT AND WITHIN EACH SLEEPING UNIT AND INTERCONNECTED IN ACCORDANCE WITH 4.1.0.1.4. OF THE ONTARIO BUILDING CODE 2012
- MV MECHANICAL VENT VENTED TO EXTERIOR
- DV DRYER EXHAUST VENT VENTED TO EXTERIOR
- FD FLOOR DRAIN
- AA MINIMUM 22" x 28" INSULATED (MIN R-20) ATTIC ACCESS C/W WEATHER STRIPPING AND LATCH CLOSURE
- x POINT LOAD FROM ABOVE
- SP-1 PLYS OF STUD POST TO EQUAL WIDTH OF SUPPORTED MEMBER

Proposed Second Floor Plan

1138 sq. ft.

ALL DIMENSIONS OF EXISTING ARE SITE MEASURED AND DO NOT ACCOUNT FOR STRUCTURES NOT BEING SQUARE OR LEVEL, DIMENSION TO BE CONFIRMED ON SITE PRIOR COMMENCEMENT OF CONSTRUCTION OR ORDERING OF CONSTRUCTION MATERIALS.

Notes :

* PROVIDE STUD POSTS & SOLID BLOCKING UNDER ALL GIRDER TRUSS POINT LOADS TO FOUNDATION OF ADEQUATE SUPPORTS.

* WINDOW & DOOR SIZES INDICATED ARE SUGGESTED ONLY, UNLESS SIZES SHOWN REFLECT OPENING SIZES INDICATED ONLY.

EWP ENGINEERED WOOD PRODUCT AS SPECIFIED BY SUPPLIER

S & CO SMOKE ALARMS AND CO DETECTORS ARE TO BE LOCATED ON EACH FLOOR, INCLUDING BASEMENT AND WITHIN EACH SLEEPING UNIT AND INTERCONNECTED IN ACCORDANCE WITH 9.10.1.9. OF THE ONTARIO BUILDING CODE 2012

MV MECHANICAL VENT VENTED TO EXTERIOR

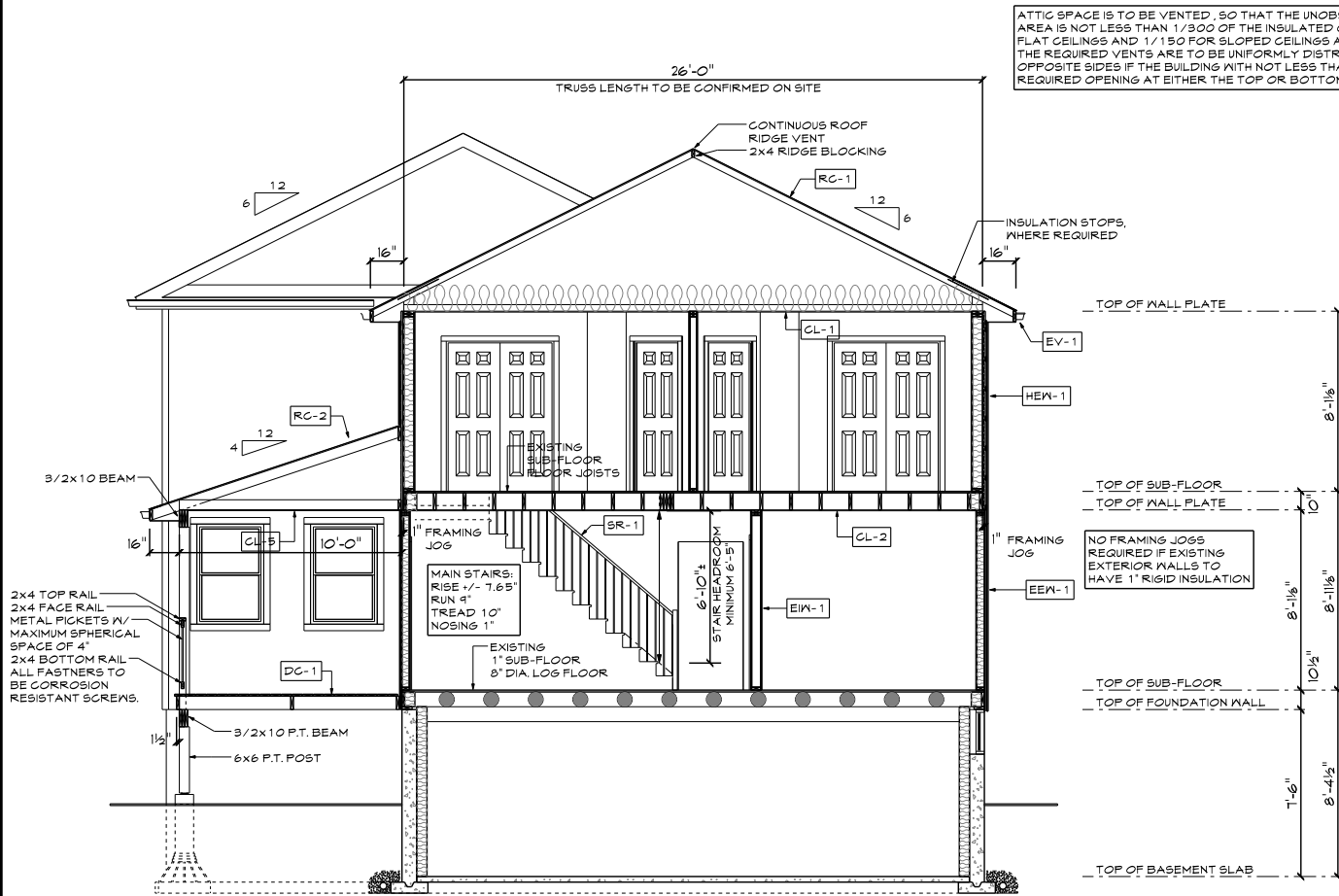
DV DRYER EXHAUST VENT VENTED TO EXTERIOR

FD FLOOR DRAIN

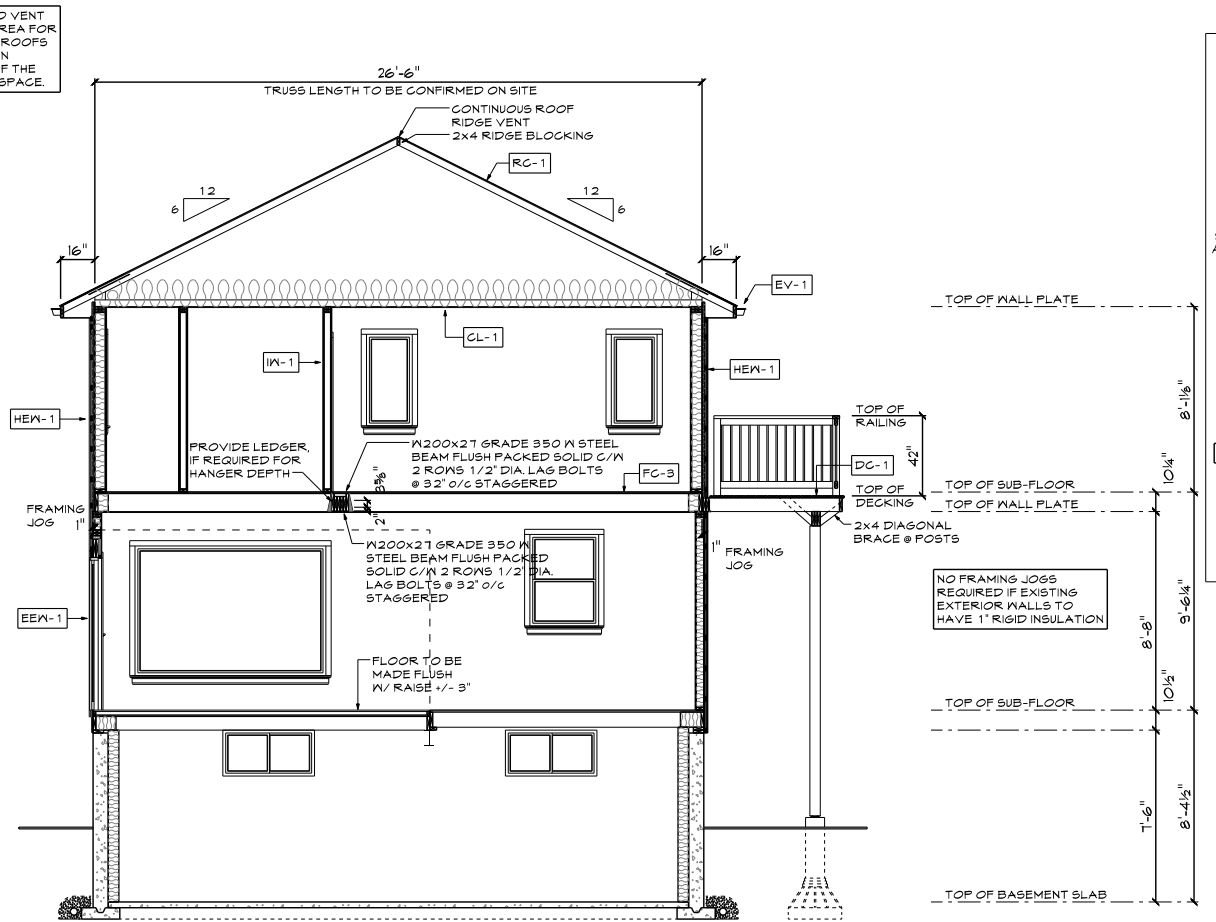
AA MINIMUM 22" x 28" INSULATED (MIN. R20) ATTIC ACCESS C/W WEATHER STRIPPING AND LATCH CLOSURE

X POINT LOAD FROM ABOVE

SP-1 PLYS OF STUD POST TO EQUAL WIDTH OF SUPPORTED MEMBER



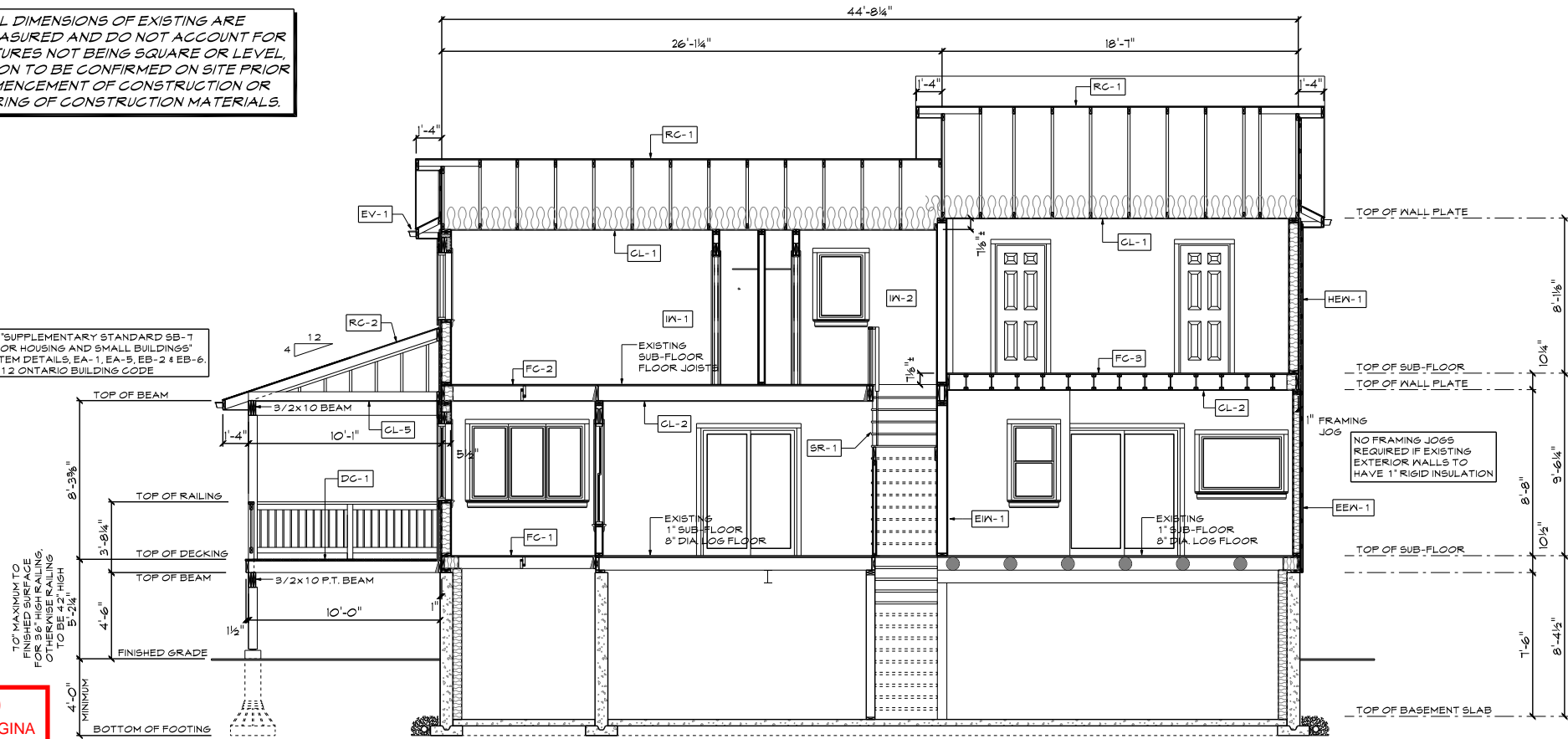
Cross Section A-A



Cross Section B-B

ALL DIMENSIONS OF EXISTING ARE SITE MEASURED AND DO NOT ACCOUNT FOR STRUCTURES NOT BEING SQUARE OR LEVEL. DIMENSION TO BE CONFIRMED ON SITE PRIOR COMMENCEMENT OF CONSTRUCTION OR ORDERING OF CONSTRUCTION MATERIALS.

REFER TO 'SUPPLEMENTARY STANDARD SB-7 GUARDS FOR HOUSING AND SMALL BUILDINGS' RAILING SYSTEM DETAILS, EA-1, EA-5, EB-2 & EB-6, 2012 ONTARIO BUILDING CODE



Cross Section C-C

FOUNDATION AND FLOOR NOTES

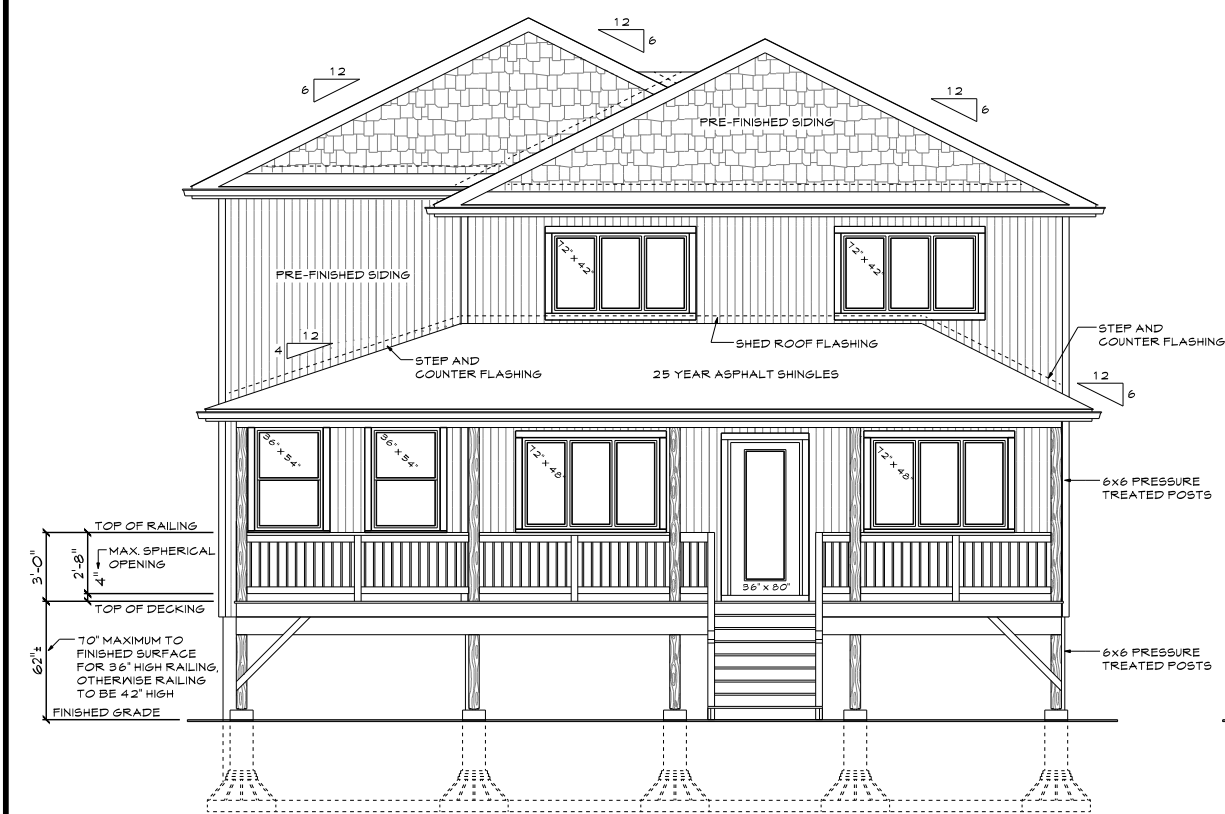
- FC-1 NEW FLOOR CONSTRUCTION #1
3/4" T&G PLYWOOD SUB-FLOOR NAILED & GLUED TO 2x8 FLOOR JOIST, REFER TO PLANS FOR SPACING AND BRIDGING
- FC-2 NEW FLOOR CONSTRUCTION #2
3/4" T&G PLYWOOD SUB-FLOOR NAILED & GLUED TO 2x10 FLOOR JOIST, REFER TO PLANS FOR SPACING AND BRIDGING
- FC-3 NEW FLOOR CONSTRUCTION #3
3/4" T&G PLYWOOD SUB-FLOOR NAILED & GLUED TO 4x8 DEEP ENGINEERED FLOOR JOIST, REFER TO SUPPLIERS LAYOUT FOR JOIST SIZES & SPACING
- DC-1 DECK CONSTRUCTION #1
5/4x6 P.T. DECKING SCREENED TO 2x8 PRESSURE TREATED JOIST REFER TO PLANS FOR SPACING & BRIDGING
- SR-1 STAIRS & RAILINGS
ALL STAIRS AND RAILINGS ARE MANUFACTURED AND SHALL CONFORM TO SECTION 9.8 OF O.B.C. STAIRS TO BE DETERMINED ON SITE.
1 1/8" MAXIMUM RISE, 8 1/4" RUN,
4 1/4" TREAD 1" NOSING AND PROVIDE MINIMUM 6'-5" HEADROOM.

EXTERIOR AND INTERIOR WALL NOTES

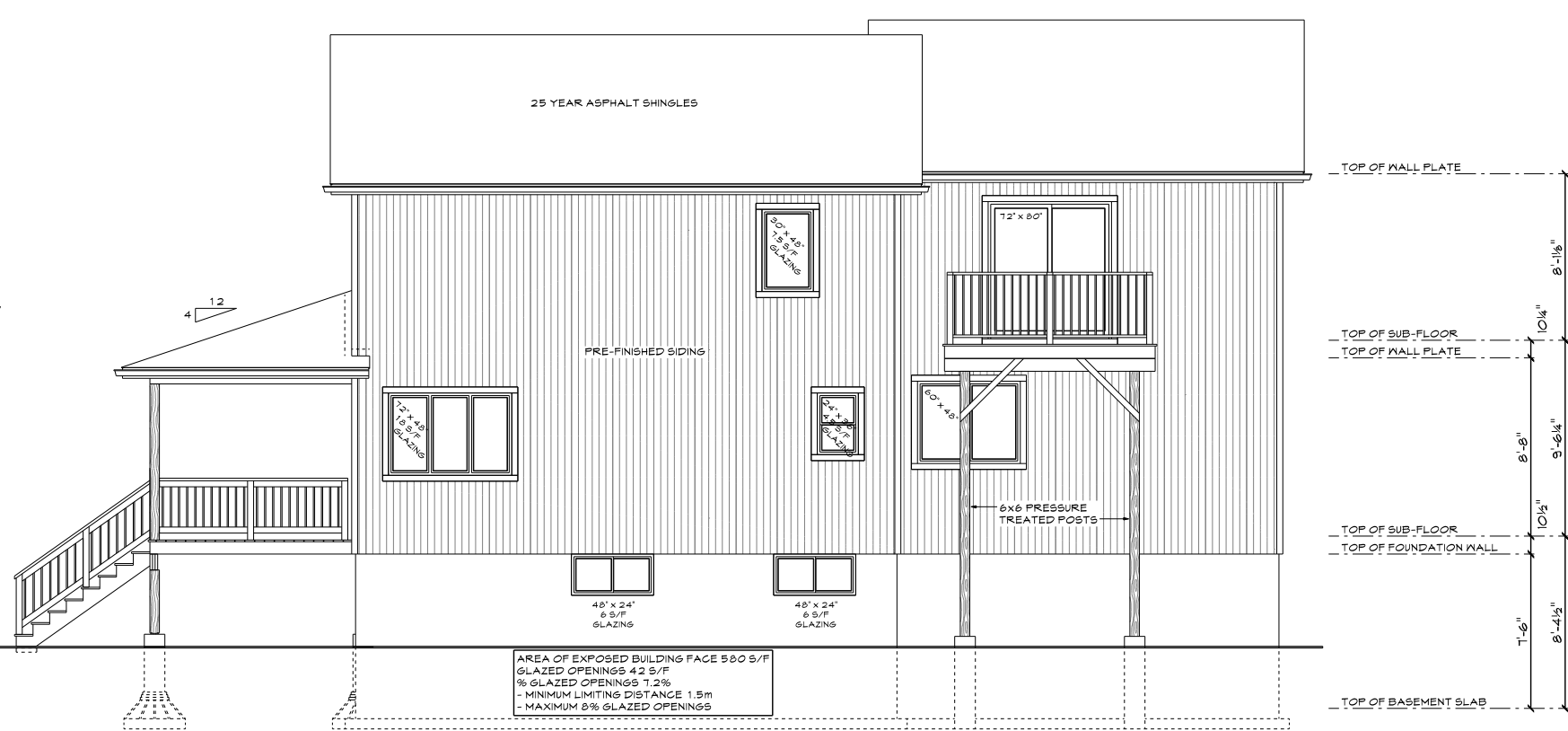
- HEW-1 HOUSE EXTERIOR WALL #1
PRE-FINISHED SIDING C/W 1x4 STRAPPING @ 16" O/C IF REQUIRED
HOUSEWRAP AIR BARRIER
1" SR RIGID INSULATION
7/16" OSB WALL SHEATHING
2x6 STUDS @ 16" O/C C/W DOUBLE TOP PLATE & SINGLE BOTTOM PLATE
R 19 INSULATION
6 mil. U/V PROTECTED POLY VAPOUR BARRIER
1/2" DRYNALL
- IN-1 INTERIOR PARTITION #1
2x4 STUDS @ 16" O/C C/W DOUBLE TOP PLATE & SINGLE BOTTOM PLATE
1/2" DRYNALL ON BOTH SIDES
- IN-2 INTERIOR PARTITION #2
2x4 STUDS @ 16" O/C C/W DOUBLE TOP PLATE & SINGLE BOTTOM PLATE
1/2" DRYNALL ON BOTH SIDES
- EEW-1 EXISTING EXTERIOR WALL #1
* NEW SIDING
* NEW 1x4 STRAPPING @ 16" O/C, IF REQUIRED
* OPTIONAL 1" R5 RIGID INSULATION, NOT SHOWN
* WALL SHEATHING
* EXISTING STUD WALL FRAMING
* NEW MIN. R 12 INSULATION
* NEW 1/2" DRYNALL
- EIW-1 EXISTING INTERIOR PARTITION #1
EXISTING STUD WALL FRAMING
* NEW 1/2" DRYNALL ON BOTH SIDES

ROOF AND CEILING NOTES

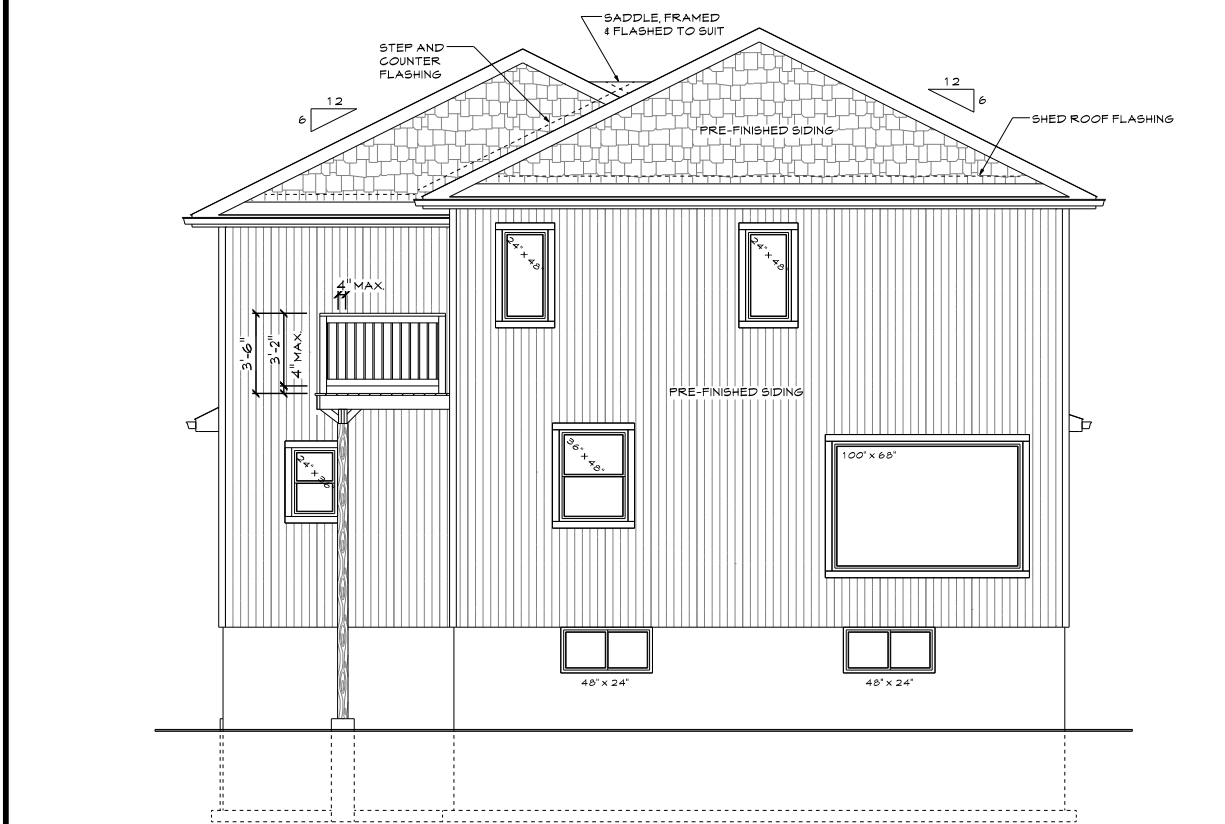
- RC-1 ROOF CONSTRUCTION #1
25 YEAR SELF-SEALING ASPHALT SHINGLES
ICE & WATER SHIELD EAVE PROTECTION
1/2" PLYWOOD ROOF SHEATHING C/W H CLIPS
2x12 ROOF JOIST @ 24" O/C
- RC-2 ROOF CONSTRUCTION #2
25 YEAR SELF-SEALING ASPHALT SHINGLES
ICE & WATER SHIELD EAVE PROTECTION
1/2" PLYWOOD ROOF SHEATHING C/W H CLIPS
2x6 RAFTERS @ 16" O/C
- EV-1 EAVE CONSTRUCTION #1
2x6 SUB-FASCIA
PRE-FINISHED ALUMINUM EAVES TROUGH C/W DOWN SPOUTS AS REQUIRED, EAVE STARTER FASCIA & VENTED SOFFIT.
- CL-1 CEILING #1
5/8" OR 1/2" (4.2x5.2(1)(1)) DRYNALL
6 mil. U/V PROTECTED POLY V/B.
R60 INSULATION
- CL-2 CEILING #2
1/2" DRYNALL
- CL-3 CEILING #3
NON-VENTED SOFFIT PANELS
2x6 RAFTERS @ 16" O/C



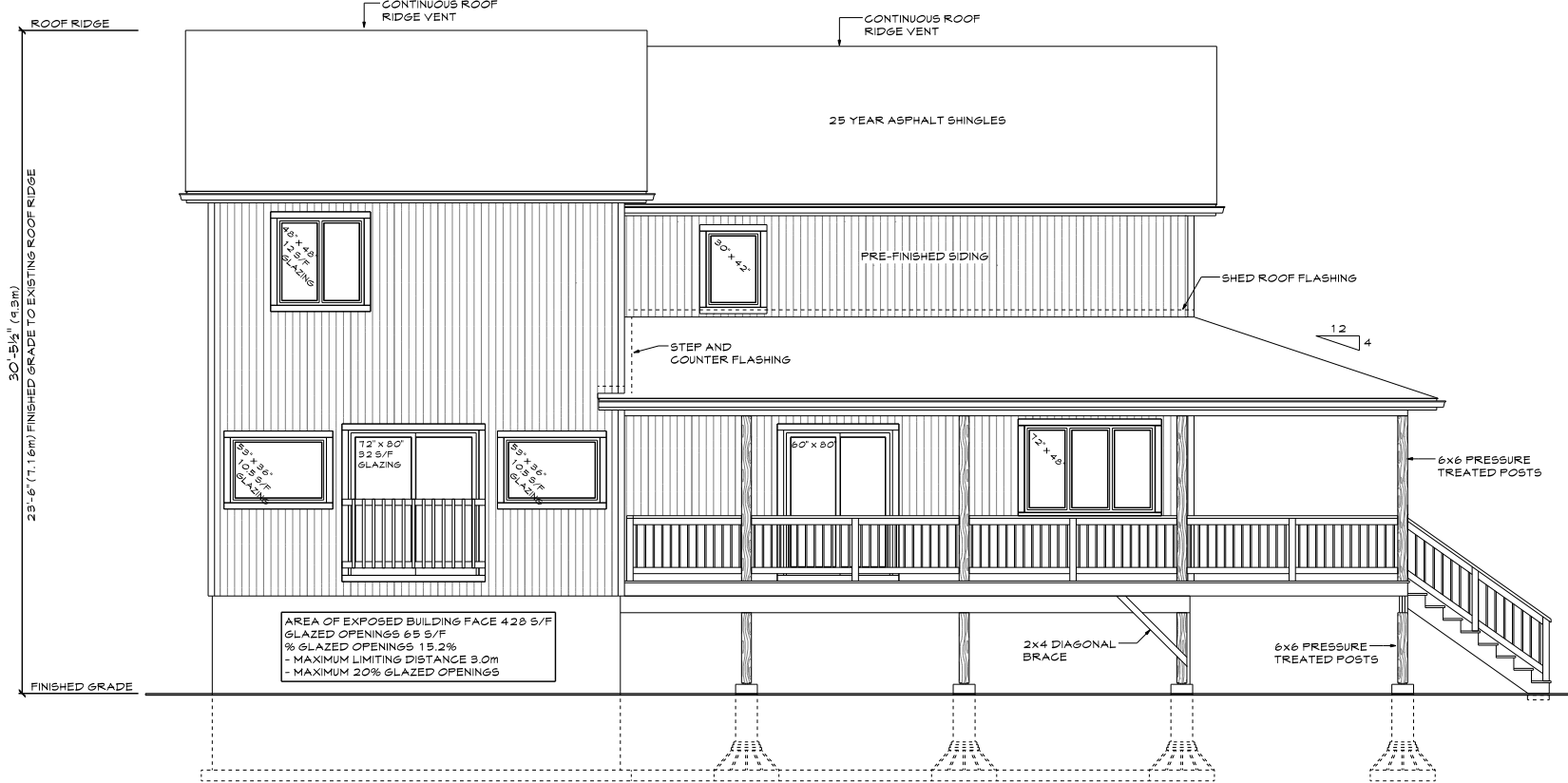
East Elevation



North Elevation



West Elevation




South Elevation

RECEIVED
BY THE TOWN OF GEORGINA
Jun. 29, 2020
BUILDING DIVISION

Notes :

- * PROVIDE STUD POSTS & SOLID BLOCKING UNDER ALL GIRDER TRUSS POINT LOADS TO FOUNDATION OF ADEQUATE SUPPORTS.
- * WINDOW & DOOR SIZES INDICATED ARE SUGGESTED ONLY. LINTEL SIZES SHOWN REFLECT OPENING SIZES INDICATED ONLY.



Scott Dryla
8 Doon Crescent
Kewick, Ontario, L4P 3P8
Phone: 905.252.8417
email: masterplan@rogers.com

The undersigned has reviewed and takes responsibility for this Design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the building code

Scott Dryla 21141
NAME BCIN

SIGNATURE

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1 of the building code

Master-Plan 30578
FIRM NAME BCIN

Builder:

Revisions:

#	Date	Description
---	------	-------------

Note:
Contractor is to verify all dimensions and conditions on the project and report any discrepancies to Master-Plan before proceeding with work.
Drawings are not to be scaled.

Drawings and specifications remain the property of Master-Plan and may not be used or re-issued without permission.
The contractor accepts responsibility for any changes to drawings without the expressed approval of Master-Plan.

Project North:

Legend:
DIMENSIONING NOTES:
ALL DIMENSIONS FOR NEW CONSTRUCTION ARE FROM FACE OF STUD TO FACE OF STUD OR TO FRAMING MEMBERS.

Project Title:
Barton Residence
30 Hadden Road
Town of Georgina

Sheet Title:
Elevations

Drawn by:
Scott Dryla

Checked by:

Date:
April 16, 2020

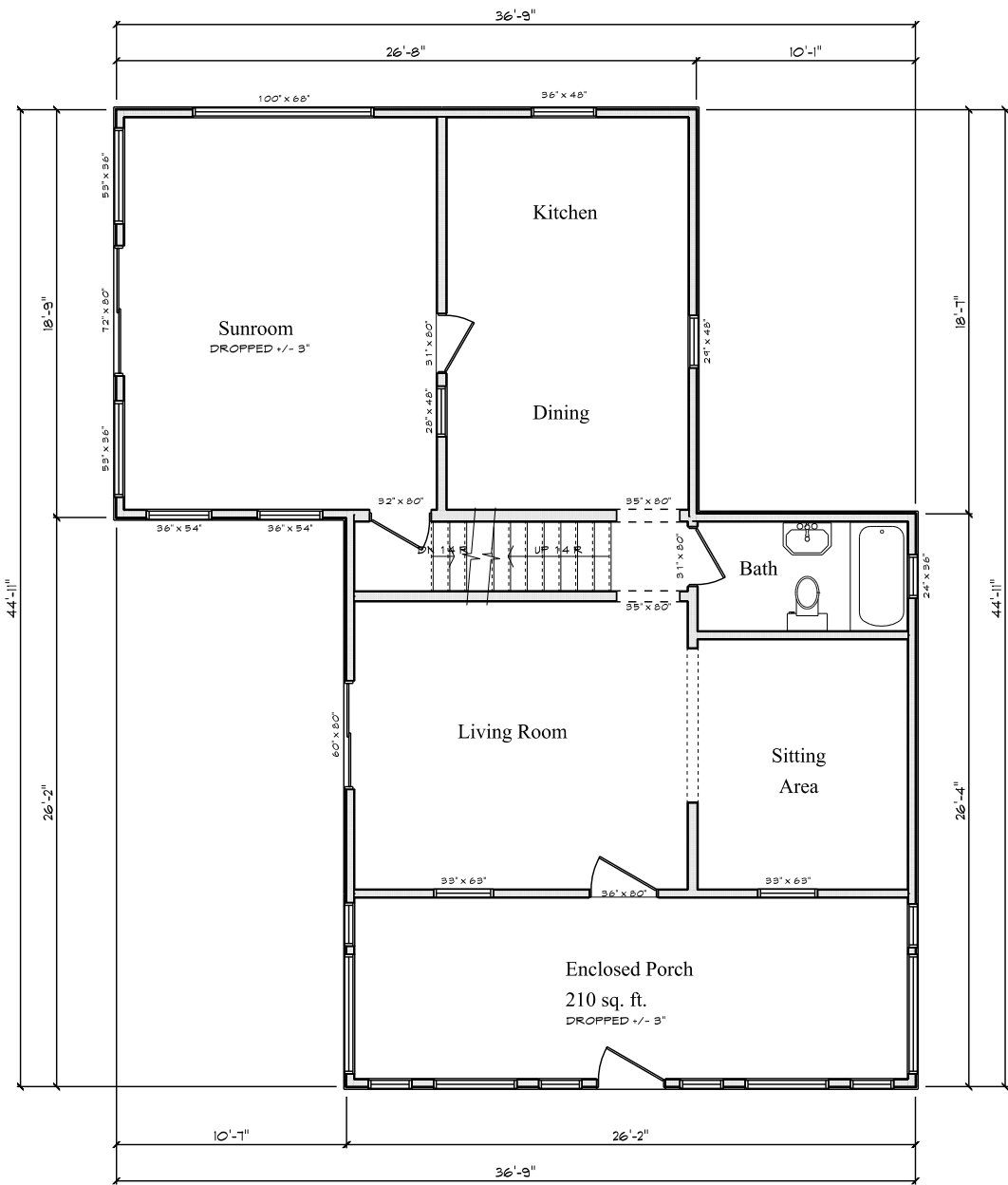
Sheet #

Scale:
1/4" = 1'-0"

Project #

A5

RECEIVED
BY THE TOWN OF GEORGINA
Jun. 29, 2020
BUILDING DIVISION



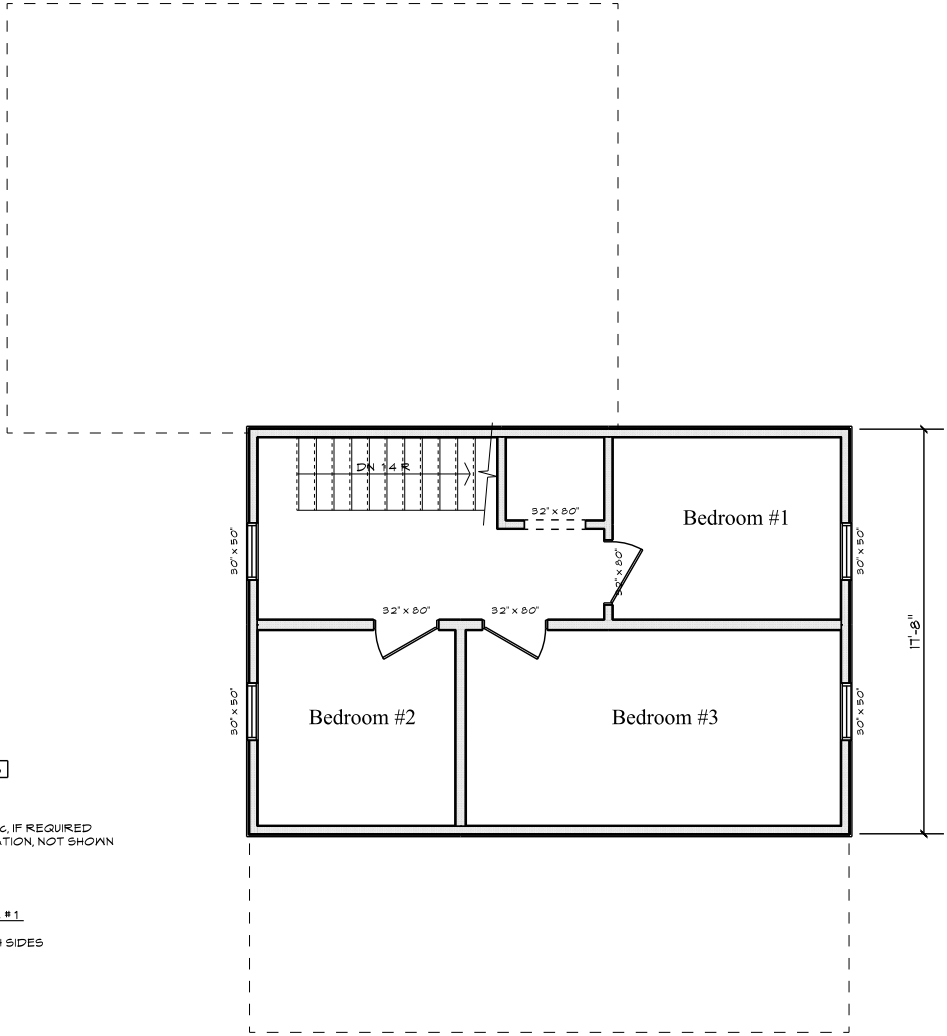
Existing First Floor Plan

970 sq. ft.

Enclosed Porch

210 sq. ft.

- EXTERIOR AND INTERIOR WALL NOTES
- EXISTING EXTERIOR WALL #1
 - NEW SIDING
 - NEW 1x4 STRAPPING @ 16" o/c, IF REQUIRED
 - OPTIONAL 1" R5 RIGID INSULATION, NOT SHOWN
 - WALL SHEATHING
 - EXISTING STUD WALL FRAMING
 - NEW MIN. R 12 INSULATION
 - NEW 1/2" DRYWALL
 - EXISTING INTERIOR PARTITION #1
 - EXISTING STUD WALL FRAMING
 - NEW 1/2" DRYWALL ON BOTH SIDES



Existing Second Floor Plan

430 sq. ft.

ALL DIMENSIONS OF EXISTING ARE
SITE MEASURED AND DO NOT ACCOUNT FOR
STRUCTURES NOT BEING SQUARE OR LEVEL.
DIMENSION TO BE CONFIRMED ON SITE PRIOR
COMMENCEMENT OF CONSTRUCTION OR
ORDERING OF CONSTRUCTION MATERIALS.



Scott Dryla
8 Doon Crescent
Kewick, Ontario, L4P 3P8
Phone: 905.252.8417
email: masterplan@rogers.com

The undersigned has reviewed and takes responsibility for this Design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the building code

Scott Dryla 21141
NAME BCIN

SIGNATURE

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1 of the building code

Master-Plan 30578
FIRM NAME BCIN

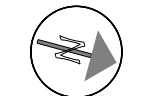
Builder:

Revisions:
Date Description:

Note:
Contractor is to verify all dimensions and conditions on the project and report any discrepancies to Master-Plan before proceeding with work.
Drawings are not to be scaled.

Drawings and specifications remain the property of Master-Plan and may not be used or re-issued without permission. The contractor accepts responsibility for any changes to drawings without the expressed approval of Master-Plan.

Project North:



Legend:
DIMENSIONING NOTES:
ALL DIMENSIONS FOR NEW CONSTRUCTION ARE FROM FACE OF STUD TO FACE OF STUD OR TO FRAMING MEMBERS.


Project Title:

Barton Residence
30 Hadden Road
Town of Georgina

Existing
Floor Plans

Drawn by: Scott Dryla
Date: April 16, 2020
Scale: 1/4" = 1'-0"
Project #
Checked by: Sheet #
A6

Heritage Registry – 30 Hadden Road Details

	042-156	30 Hadden Rd.	"George Evans – Barton Cottage"	W/S Con. 7, Pt. Lt. 12	1920		House.	L	
---	---------	---------------	---------------------------------	------------------------	------	--	--------	---	--

Heritage Designation Report

Paul Brady

November 4, 2019

Bonnie Park/Lorne Park, formerly known as Jackson's Point Park, Town of Georgina, York Region, PT BLK G, PL 69, Sutton, PT 3, 65R35243, PIN 03518-0512 (LT)

Recommendation:

That the Notice of Intent to Designate Bonnie Park/Lorne Park, formerly known as Jackson's Point Park BE APPROVED under Part IV of the Ontario Heritage Act for the reasons attached.

Background:

Bonnie Park/Lorne Park (Jackson's Point Park), a gift from King George the Sixth to the people of the Town of Sutton in 1937, has been for over two centuries, and continues to be today, the focal point of the hamlet of Jackson's Point, an open public place to enjoy Lake Simcoe because of the unfettered access to the lake and the stunning lake views.

Proposal:

The request is to designate this property individually, under the provisions of Part IV of the Ontario Heritage Act.

Legal Provisions:

Part IV, Section 27 of the Ontario Heritage Act provides for designation of "property situated in the municipality that is of cultural heritage value or interest". The Act (27. (1.1)(c)) includes the requirement for "a statement explaining the cultural heritage value or interest of the property and a description of the heritage attributes of the property". Also, there are provisions for a municipal heritage committee to be consulted about a designation before the council makes a decision on it.

Ontario Regulation 9/06 provides criteria for designation under the Ontario Heritage Act. Part 1. (2) of the regulation is in bold for emphasis:

"A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:

1. The property has design value or physical value because it,
 - i. **Is a rare, unique, representative or early example of a style, type, expression, material or construction method,**
 - ii. Displays a high degree of craftsmanship or artistic merit, or
 - iii. Demonstrates a high degree of technical or scientific achievement.
2. The property has historical or associative value because it,
 - i. **Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,**

- ii. Yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii. Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
3. The property has contextual value because it,
- i. **Is important in defining, maintaining, or supporting the character of an area,**
 - ii. **Is physically, functionally, visually or historically linked to its surroundings, or**
 - iii. **Is a landmark”.**

Bonnie Park/Lorne Park (Jackson’s Point Park) meets more than one of the criteria for designation listed above. These criteria are explained below:

1. The property has design or physical value because it,
- i. Has buildings in the form of picnic shelters that are associated with the Lake Simcoe Junction Railway that operated on this site. This railway began operation on this site over 150 years ago, and remained an important element of colonial Ontario for over 50 years. While the shelters are no longer in their original location, which was further north and west of their present location, they are still on the same tract of land upon which they first served the travelling public.

I am including this excerpt from the book “Narrow Gauge for Us” by author Charles Cooper, published in 1982;

“The Grand Trunk Station sat on the northerly edge of Lake Road at the park entrance and consisted of one of the standard GTR flag stop waiting rooms and two additional open shelters for the protection of excursionists and any baggage in the event of rain. When the railway was dismantled, all three structures were moved to the water’s edge in the same park. The two open shelters have survived to this day, but the station itself succumbed to the weather and was dismantled some years later”.

It is interesting to study the detail in the shelters. Although some components have been replaced since their relocation, the dimensions and roof line have remained true, and the highly detailed truss system and supports are still evident and doing their job 150 years after they were originally created. Interestingly, the shelters have stood in their present location for longer than they did as railway shelters, protecting generations of park goers for more than eighty years. They are worthy of historical preservation even without the incredible link to the Lake Simcoe Junction Railway.

2. The property has historical or associative value because it,
- i. Delineates the layout of the rail line as it ran out onto a large wharf that extended out into the lake, large enough to accommodate four railway cars. The gentle curve from Lorne Street to the lake is the essence of the connection from the land to the protected natural

harbour that was instrumental in opening up the Georgina area to European influence years before this area was easily accessible by land. It is also the exact piece of real estate the Crown granted to the Town of Sutton in 1937, "to be used as a public right of way to the lake".

Bonnie Park/Lorne Park (Jackson's Point Park) was part of the original 1200 acre land grant awarded to Captain William Bouchier, a retired British officer. Originally known as Frying Pan Point, then Bouchier's Point, Jackson's Point itself earned its name from Bouchier's son in law, John Mills Jackson, an advocate for political reform in Upper Canada. Mr. Jackson had tried to attain a land grant but was turned down by the governing "Family Compact" because of his activities in trying to establish an independent government in Upper Canada. By marrying into the Bouchier family he was able to purchase the property and build a homestead. Mr. Jackson passed away in 1836 during a trip to England and his family retained ownership until 1855, when the property was acquired by local business man Levi Miller. In turn, Mr. Miller was approached by representatives of the Lake Simcoe Junction Railway who wanted to create a branch of the Toronto and Nipissing Railway, as early as 1872. Up to this point in time, steam boats had been the main method of transportation as land access was impossible most of the year, being just paths through the swamps. The Lake Simcoe Junction Railway was about to change all that.

Many of Georgina's early settlers, including J.R. Bouchier, J.R. Stephenson, Donald MacDonald, Angus Ego, John Ramsden, R.A. Riddel and more were associated with purchasing the land and bringing the railway to Georgina. By 1877 the rail line was in place, moving lumber from the busy saw mill at 20 Bonnie Blvd. to the markets in Toronto and the northern states.

Although lumber was the impetus for starting the railway, by the 1890's, lumber was being supplemented by the ice industry, employing local men for many years. Lake Simcoe Ice was considered to be 100% pure and was shipped from Jackson's Point south to Toronto and beyond, as far as the northern states. Jackson's Point was one of only four places on Lake Simcoe where ice harvesting was practical. This is because ice is a perishable commodity, and the railway was the only efficient method of transporting any volume of it. The other access points on the lake were at Orillia, Barrie and Belle Ewart, which all had railway access. This industry required specialized warehouses and equipment which dominated the scenery in Jackson's Point. Some of the ice houses were 100 feet long, 30 feet wide and 30 feet tall.

Slowly, the ice industry began to seek other methods of supplying their needs. Artificial ice became common, and the ice trade was supplemented by the burgeoning tourist trade. As society became wealthier and more adventurous, Lake Simcoe, and especially Jackson's Point, beckoned. Jackson's Point proudly bears the moniker "Ontario's First Cottage Country" and this is principally due to the proximity to Toronto and the ease with which travelers could visit on the train. Bonnie Park/Lorne Park (Jackson's Point Park) and the Malone Road Wharf became the centre of this trade, with steam boat excursions taking happy tourists out on the lake and others enjoying the numerous dancehalls, hotels, inns, taverns and tourist cabins. Lake Simcoe was also recognized as having such fine clean air that several "sanitariums" were opened by medical professionals. The rail line and the steam boats made all of this activity possible.

Once again, progress changed things and the railway slowly became obsolete. It was replaced by a convenient electric railway that made daily trips to Jackson's Point for many years, the Radial line, and the motor car. The last run out of Jackson's Point took place on September 24, 1927, and the rails to Jackson's Point, and down to the wharf, were lifted shortly thereafter.

The legendary Herb Lennox picnics were held on Bonnie Park/Lorne Park (Jackson's Point Park) from 1907 until 1933, eventually attracting 25,000 people for the one day extravaganza. Herb Lennox represented York North in the Legislative Assembly from 1905 until 1923, and sat in the House of Commons as a Conservative until his death in 1934. Mr. Lennox had a cottage in the area and recognized the value of sponsoring such an event in the beautiful Jackson's Point Park. The railway played a significant part in the picnic, with extra trains being put into service just for the day.


From the time that the railway ceased to function until 1937, the Town of Sutton leased the park from the federal government, which owned it by right of the Grand Trunk Railway, which had absorbed the Lake Simcoe Junction Railway. The Town then sublet the park to Stephen Sellers, who built a large dance hall by the beach. This dance hall was the Edgewater, considered to be one of the classiest joints on the south shore. Popular bands of the day entertained there and many of our longtime residents still have fond memories of it. Mr. Sellers also owned the adjoining property, currently the site of the Ramada Hotel, and operated the whole site as a tourist destination.

In 1937, after leasing the park from the Crown once the railway pulled out, the Town of Sutton was granted Bonnie Park/Lorne Park (Jackson's Point Park). One of the conditions of the grant is that "it be maintained by the Municipality as a public right of way to the lake". The Town of Sutton was eventually integrated with Georgina and North Gwillimbury to become The Town of Georgina. Bonnie Park/Lorne Park (Jackson's Point Park) is still owned by the people of the Town of Georgina.

3. The property has contextual value because it,
 - i. is an integral part of everyday life for the residents of the community, and numerous tourists and visitors, as it has been for the previous 2 centuries, and long before that by the First Nations people.
 - ii. the shape and foot print of the park, in its entirety, is defined by the rail line, and is the shape of the land that was granted to the people of the Municipality of Sutton, "as a public right of way to the lake".
 - iii. Bonnie Park/Lorne Park aka Jackson's Point Park, has been a landmark for generations of picnickers, boaters, canoeists, ice fishers, bird watchers, tourists, residents, bathers and numerous other pursuits for over 200 years.

Conclusion:

Bonnie Park/Lorne Park (Jackson's Point Park) meets the necessary criteria for heritage designation under part IV of the Ontario Heritage Act items 1(i), 2(i), and 3(i), 3(ii), and 3(iii). Accordingly, I respectfully request that the Heritage Committee recommend that Bonnie Park/Lorne Park (Jackson's Point Park) PIN 03518-0512 (LT), be designated as a heritage property.

	035-398	299 Hedge Rd.	The Thomas Mossington House named Plumstead	Con.8, Pt. Lt. 5, RS65R1120,Pt. 4, RS65R15688, Pt. 1	1822	86-152 (HO-1)	House. Georgian influence. Wooden plank floors, bell tower, interior trim and doors. 3 large fire places	L D	Aug. 28, 1986
---	---------	---------------	---	--	------	---------------	--	--------	---------------

From: Geoff Harrison <gharrison@georgina.ca>
Sent: August 27, 2020 3:25 PM
To: Rob Wheeler <rwheater@georgina.ca>; Racheal Rossetti <rrossetti@georgina.ca>
Cc: Sandra DiPietrantonio <sdipietrantonio@georgina.ca>
Subject: RE: Georgina Heritage Incentives

Hi Racheal,

In February I had started a report along with development services regarding a Heritage property tax rebate program. The recommendations that are in the draft report are for Council not to approve the creation of this program as it can be costly to the Municipality and in general terms it is not ideal for the property owners. The Heritage property owners would have to file an easement on their property which is permanent, costly and would hold the property owner accountable to ensure constant upkeep and maintenance to the property. in Georgina I believe it was around 10 properties that would be eligible for a rebate assuming they moved forward with the easement.

The comment from development services is as follows:

Pursuant to Section 37 of the *Heritage Act*, a Council may pass by-laws for the entering into of easements or covenants with owners of property for the conservation of property of cultural heritage value or interest. The responsibilities and requirements of the easement are implemented through an easement agreement which would be registered on title to the applicable property. Heritage easement agreements are the most effective way for a municipality to protect and maintain valuable heritage resources as they provide the highest level of protection (i.e. more protection than a designated property) by requiring the owner to maintain the property and its identified heritage attributes in perpetuity. Below is an outline of the general steps which would need to be taken in order to place a heritage easement agreement on a property. The exact steps taken would need to be further discussed and mapped with applicable staff prior to execution.

General process to create a heritage easement over a property:

- 1) Initial inquiry/meeting with appropriate municipal staff to discuss the proposal, process and requirements.
- 2) Heritage assessment of the property/building is completed (if not already available) by a qualified professional to determine the properties heritage attributes or features worthy of preservation.
- 3) Owner fills out an application, pays the associated fee and submits all required documentation.
- 4) Application proceeds to the Heritage Committee for consideration. Resolution passed by the Committee for Council's consideration.
- 5) Application is further processed by staff, including drafting of the agreement and preparation of a report and by-law for Council's consideration.
- 6) Staff report to Council requesting approval/refusal based on Committee's resolution. If approved, a by-law allowing the Mayor and Clerk to enter into an agreement is required to be passed.
- 7) Agreement is sent to the owner to execute.
- 8) Executed agreement is provided back to staff to register on title to property.
- 9) Staff register the agreement.

Im not sure the next steps for this report, we can bring this information for discussion to the committee and if they want to move forward we can bring to Council. However I think the staff recommendation would remain the same that we should not move forward with this rebate.

Rob, do you have any thoughts on next steps for this?



Geoff Harrison

Manager of Tax, Revenue and Customer Service | Corporate Service

26557 Civic Centre Road, Keswick, ON | L4P 3G1

905-476-4301 Ext. 2210| georgina.ca

Follow us on [Twitter](#) and [Instagram](#)

Like us on [Facebook](#)

Moved by Councillor Waddington, Seconded by Councillor Harding










RESOLUTION NO. C-2020-0125


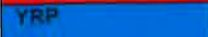

1. That Council receive Report No. DS-2020-0039 prepared by the Planning Division, Development Services Department dated May 6, 2020 respecting the consideration of names to be added into the Town's Street Name Inventory of Available Names, updates to the Street Naming Policy and, updates to the Civic Numbering By-law.
2. That Council approve the names as supported by the Street Name Committee and as identified in Attachment 3 to Report No. DS-2020-0039, and that these names be added to the Street Name Inventory of Available Names.
3. That the other names received by the Town and reviewed by the Street Name Committee, as identified in Attachment 4 to Report No. DS-2020-0039, not be supported, and thus not be added to the Street Name Inventory of Available Names.
4. That the Planning Division forward correspondence to all individuals for which Council has considered their suggested street names, advising of Council's decision on same.
5. That the updated Street Name Inventory of Available Names, provided herein as Attachment 5 to Report No. DS-2020-0039, be approved.
6. That the current Assignment of Street Names Policy, being Policy No. PB-STR-01, attached as Attachment 1 to Report No. DS-2020-0039, be rescinded.
7. That Council approve the revised Assignment of Street Names Policy, provided herein as Attachment 6 to Report No. DS-2020-0039.
8. That the current Property Numbering By-law, being By-law Number 2008-0108 (BU-1), as amended, attached as Attachment 2 to Report No. DS-2020-0039, be rescinded.
9. That Council approve the new Civic Numbering By-law and Manual, as provided herein as Attachment 7 to Report No. DS-2020-0039.
10. That notwithstanding the enactment of By-law No. 2002-0008 (BU-1), a by-law be passed to remove the name "LARUE'S LANE" from the private laneway located off Kennedy Road north of Ravenshoe Road at LaRue's Haulage (23082 McCowan Road).

11. That notwithstanding Resolution No. C-88-432, passed on October 20, 1988, the street names "STENNETT STREET" and "WINCH COURT" be removed from future use within the registered plan of subdivision known as Maple Lake Estates (Plan 65M-2903).
12. That the following names be added to the Municipal Asset Name Inventory for future consideration and use as indicated:
 - * "AL BUSH" - for future consideration and use within the new Fire Station in Keswick;
 - * "KEN HACKENBROOK" - for future consideration and potential assignment to a park or arena; and,
 - * "PETERS" - for future consideration and potential assignment to a park/parkette

Carried.

2019 STREET NAME CAMPAIGN NAMES SUPPORTED

	Proposed Name – Approved and on Reserve List with York Region	History	Proposed By
1	ALFRED GARVEY (must use full name) 	YRP Police Officer in Georgina from 1961-1994, D. 2006, Georgina resident	M. & V. Garvey (2019 Campaign; Subm # 55)
2	BEGRIE 	In honour of both Alexander Begrie (D. 2016) and Katherine Begrie (D. 2018), both WWII Veterans and Georgina residents	Sutton Legion (2019 Campaign; Subm # 45)
3	CALVIN SEAMAN 	Military service with Black Watch, Korean Veteran; D. 2011	Sutton Legion (2019 Campaign; Subm # 45)
4	CECIL SAUNDERS 	WWII Royal Canadian Airforce; D. 2010	Sutton Legion (2019 Campaign; Subm # 45)
5	CHARLES RUTHERFORD (must use full name) 	WWI Captain 5 th Battalion, Canadian Mounted Rifles, Recipient of Victoria Cross, Military Cross and Military Medal; Sergeant at Arms of Ontario Legislature (1934 – 1940); D. 1989; last recipient of the Victoria Cross from WWI to die; lived in Keswick until 1973	Maureen Wilcox (2019 Campaign; Subm # 49)
6	CRAIG BERTRAM 	Veteran; no further info provided/found	Sutton Legion (2019 Campaign; Subm # 45)
7	DONALD INGRAM 	WWII – Canadian Army Tank Division; landed on Juno Beach w 1 st Hussars Regiment June 6/44 ("D-Day"); Injured but returned to liberate Holland and into Germany and freed several concentration camps; Post-war, became Dean of Veterinarian College in Guelph. Mother owned, operated and lived in The Ravenshoe General Store from 1940's-1950's (Ravenshoe & Catering); many family members still in Georgina	W.G. Pinnigas (2019 Campaign; Subm # 41)
8	DOUGLAS LAROCHELLE 	Royal Canadian Army Service Corps; former President RCL Sutton; D. 2010	Sutton Legion (2019 Campaign; Subm # 45)
9	DR VIVIAN MOIR (must use full name)	Former medical doctor of Keswick and resident of Sutton; D. 2015 (MVA)	Kirk Eddy and others (2019 Campaign; Subm # 62)
10	DR JOHN GRAHAM (must use full name)	Veterinarian – opened South Shore Veterinary Clinic in 1974; born in Udora; D. 2009	St Nm Cttee (2019 Campaign; Subm # 73)
11	FRANK DUGGAN (must use full name) 	WWII RCAF; D. 2015; former resident of Pepperlaw	Sutton Legion (2019 Campaign; Subm # 45)

	Street Signs will require the posting of a POPPY image on all sign faces
	Street Signs will require the posting of a York Regional Police (YRP) image/logo on all sign faces
	Street Signs will require the posting of a Georgina Fire image/logo on all sign faces

Y:\Street Names and Civic Numbering\Street Name Inventory of Available Names\2020 Inventory\DRAFT UPDATES - Names Supported by Street Name Committee.docx

**2019 STREET NAME CAMPAIGN
NAMES SUPPORTED**

	Proposed Name – Approved and on Reserve List with York Region	History	Proposed By
12	FRANK FLETCHER (must use full name) POPPY	Veteran; no further info provided/found	Sutton Legion (2019 Campaign; Subm # 45)
13	GEORGE ELLIS (must use full name) POPPY	WWII, Royal Canadian Army Services Corps; D. 2015; former resident of Sutton	Sutton Legion (2019 Campaign; Subm # 45)
14	GEORGE KUNZ POPPY	Retired Chief Petty Officer 1 st Class with Canadian Air Force; D. 2010	Sutton Legion (2019 Campaign; Subm # 45)
15	GEORGE RIDDELL (must use full name) POPPY	Royal Canadian Army Service Corps; D. 2010; former resident of Virginia	Sutton Legion (2019 Campaign; Subm # 45)
16	GORDON BOOTHBY (must use full name)	Former Georgina Councillor, owner of Boothby Meats in Keswick, 25 yrs of service with Mississauga Fire Dept.; D. 2016	Mayor Quirk and M. Smith (2019 Campaign; Subm # 3 & 5)
17	HERBERT HUNT (must use full name) POPPY	WWII Veteran; served in Navy; former resident of Sutton; D. 2016	Sutton Legion (2019 Campaign; Subm # 45)
18	HOLEC or JEFFREY HOLEC	Former Mayor (2000-2003); Member of US Military; D. 2020 <i>Subject to consent from family.</i>	St Nm Cttee (2019 Campaign; Subm # 76)
19	IVAN DAY	Active member of community; owner / operator of Ivan C. Day Insurance; Optimist Club, Association for Community Living, Keswick Santa Clause Parade board member; D. 2010	Larry Day (2019 Campaign; Subm # 70)
20	JOHN BURGESS (must use full name) POPPY	Veteran; no further info provided/found	Sutton Legion (2019 Campaign; Subm # 45)
21	JOHN PYNN POPPY	WWII Air Force; former resident of Sutton; D. 2016	Sutton Legion (2019 Campaign; Subm # 45)
22	JOHN RICHARDSON	Owner/Operator Keswick Marina for over 45 years; various contributions and donations towards community; D. 2017	Dave Metherall (2019 Campaign; Subm # 75)
23	JOHN SLYKHUIS	Former Editor of Georgina Advocate; resident of Sutton; D. 2016	Trish Bootsma (2019 Campaign; Subm # 69)

POPPY	Street Signs will require the posting of a POPPY image on all sign faces
YRP	Street Signs will require the posting of a York Regional Police (YRP) image/logo on all sign faces
FIRE	Street Signs will require the posting of a Georgina Fire image/logo on all sign faces

Y:\Street Names and Civic Numbering\Street Name Inventory of Available Names\2020 Inventory\DRAFT UPDATES - Names Supported by Street Name Committee.docx

2019 STREET NAME CAMPAIGN NAMES SUPPORTED

	Proposed Name – Approved and on Reserve List with York Region	History	Proposed By
24	JULIA MUNRO	PC MPP for York-Simcoe from 1995 – 2018; longest serving female MPP in Ontario's history; Georgina resident; D. 2019	D. Cosby (# 27), Mayor Quirk (# 37), L. Pangman (#58); 2019 Campaign
25	KEN DAVIE (must use full name) POPPY	WWII - Canadian Merchant Navy Marine; also owned/operated first taxi company in Georgina, dance hall/arcade in Jackson's Point, and "Davie Convenience" (Church St/Queensway)	B. Gamble (2019 Campaign; Subm # 32)
26	KEN HACKENBROOK (use after deceased)	Former Councillor (6 terms); Sutton Hockey School founder; Ice Owl Charity Hockey Games (for visually impaired players), recipient of Citizen of the Year, Bobby Orr Easter Seal Skate for handicapped children	Laurie Pangman (2019 Campaign; Subm # 58)
27	KYLE RHODA (must use full name; do not use RD as street type) POPPY	Veteran; no further info provided/found	Sutton Legion (2019 Campaign; Subm # 45)
28	MAX BULMER POPPY (must use full name)	* PRIORITY USE NAME * Royal Canadian Regiment; Retired Major of the Salvation Army; Padre for RCL 356 Sutton; D. 2019	Sutton Legion (2019 Campaign; Subm # 45)
29	MAX EISEN (use after deceased)	Holocaust survivor and author; "By Chance Alone"; deported from Czechoslovakia (now Moldavia) in 1929 to Auschwitz Concentration Camp; resides in Toronto and has had summer home in Jackson's Point for 40 yrs.	J. Taylor (2019 Campaign; Subm # 56)
30	Winch Court MERLYN WINCH	REMOVE from MLE and put back into inventory for use (2019 St Name Cttee) – as full name MERLYN WINCH <i>*requires Council Resolution*</i>	Cynthia Bedford (2019 Campaign; Subm # 60)
31	MIKE SEDORE (use after deceased)	Lifelong resident and community contributor as volunteer, coach, and Executive member with minor softball and hockey; extensive representation as player in Provincial and National levels in both baseball and hockey	T. Sedore (2019 Campaign; Subm # 61)
32	RANDY BUSH FIRE (must use full name)	Georgina Fire Fighter, D. 1981 during ice rescue with his father Chief Al Bush (since retired)	Counc. D. Harding (# 7) & Fire Chief Jenkins (# 10); 2019 Campaign
33	REGINALD PITTS POPPY (must use full name)	Royal Cndn Air Force, Korean War Veteran; D. 2016; former resident of Sutton	Sutton Legion (2019 Campaign; Subm # 45)

POPPY	Street Signs will require the posting of a POPPY image on all sign faces
YRP	Street Signs will require the posting of a York Regional Police (YRP) image/logo on all sign faces
FIRE	Street Signs will require the posting of a Georgina Fire image/logo on all sign faces

Y:\Street Names and Civic Numbering\Street Name Inventory of Available Names\2020 Inventory\DRAFT UPDATES - Names Supported by Street Name Committee.docx

**2019 STREET NAME CAMPAIGN
NAMES SUPPORTED**

	Proposed Name – Approved and on Reserve List with York Region	History	Proposed By
34	REGINALD KING POPPY (must use full name)	WWII, Toronto Highland Regiment; D. 2011; former resident of Keswick	Sutton Legion (2019 Campaign; Subm # 45)
35	ROGER LARUE *MUST remove LaRue's Lane from use; requires Council Resolution & By-law to remove	In honour of former resident and business owner of LaRue's Haulage since 1946; a founding member of Keswick Santa Claus Parade Committee and President for over 50 yrs. Volunteer Fire Fighter for over 30 yrs with Keswick FD, and became Chief. (D. 2014)	F. LaRue (2019 Campaign; Subm # 47)
36	STENNETT STREET *requires Council Resolution to remove	REMOVE from MLE and put back into inventory for use (2019 St Name Cttee)	Georgina Heritage Committee (2019 Campaign; Subm # 1)
37	THOMAS SMITH POPPY (must use full name)	WWII, Toronto Highland Regiment; D. 2009; former resident in Jackson's Point area	Sutton Legion (2019 Campaign; Subm # 45)
38	TOM MILLER (must use full name)	Owner/Operator of Miller's Boathouse in Keswick from 1940's – 1970's; boat rental, storage, ice fishing, bait; also taxidermist and MNR Deputy Conservation Officer from 1949-1960's; D. 2010	D. Bevand (2019 Campaign; Subm # 40)
39	TOMAS BURNIE POPPY (must use full name)	WWII Royal Canadian Artillery; D. 2010, former resident of Virginia	Sutton Legion (2019 Campaign; Subm # 45)

POPPY	Street Signs will require the posting of a POPPY image on all sign faces
YRP	Street Signs will require the posting of a York Regional Police (YRP) image/logo on all sign faces
FIRE	Street Signs will require the posting of a Georgina Fire image/logo on all sign faces

Y:\Street Names and Civic Numbering\Street Name Inventory of Available Names\2020 Inventory\DRAFT UPDATES - Names Supported by Street Name Committee.docx

2019 STREET NAME CAMPAIGN NAMES NOT SUPPORTED			
	Name	Proposed By	Subm #
1	ALISSA	Shirlee Wharton-Hamilton	18
2	ARNOLD	Georgina Heritage Cttee	1
3	BERIS	Janet Erwood	12
4	BIG CANOE	Ron Dempsey	16
5	BILL GUY	Counc. Dave Harding	7
6	BOADWAY	Jennifer O'Neill	6
7	BOUCHIER'S MILLS	Michael Garvey	46
8	BRETT NOLAN	Susan Beatty	20
9	BRIAR	Counc. Mike Waddington	11
10	BRIAR-ROSE	Counc. Mike Waddington	11
11	BUCK	Jeremy Wortman	43
12	BUSH	Michael Smith	5
13	BUTCH	Butch Catton	74
14	CADENCE	Counc. Mike Waddington	11
15	CALLA LILY	Counc. Mike Waddington	11
16	CAMPBELL RUDD	Erin Campbell Rudd	38
17	CARDINAL	Heidi Manners	29
18	CARRIERE	Laurie Pangman	58
19	CHAPMAN	Angela Hind	30
20	CHIPPEWA	Ron Dempsey	16
21	CLARK	Brenda Clark	48
22	CONNELL	Georgina Heritage Cttee	1 & 35
23	CONRAD PENFOLD	Jennifer Smith	22
24	CRYDERMAN	Virginia Cryderman	54
25	CRYSTAL PANGMAN	Mike Carriere	59
26	DAVID GRAHAM	Georgina Heritage Cttee	1
27	DAVIE	Laurie Pangman	58
28	DAY	Larry Day	70
29	DEZ	Shane Holmes	25
30	DORIS BAKER	Diana Cosby	27
31	DOUG PETERS	Joan Peters	42
32	DR HIRAM PRINGLE	Diane Bevand	40
33	EAGLE	Heidi Manners	29
34	EARL	Georgina Heritage Cttee	1
35	ELWOOD	Counc. Mike Waddington	11
36	EMES	Georgina Heritage Cttee	1
37	FAIRBARN	Georgina Heritage Cttee	1
38	FREDERICK COOPER	RCL, Br. 356, Sutton	45
39	GILNOCKIE	Martin Connell	35
40	HAMILTON	Georgina Heritage Cttee	1
41	HARRISON	Evelene Bruner	44
42	HERON	Heidi Manners	29

2019 STREET NAME CAMPAIGN NAMES NOT SUPPORTED			
	Name	Proposed By	Subm #
43	HOLLY	Counc. Mike Waddington	11
44	HUNTER RAIN	Siana Muser	26
45	JOHN IRA THAYER	Georgina Heritage Cttee	1 & 39
46	JOHNSON or MIKE JOHNSON	Carol Johnson	72
47	KENNETH PETERS	Robyn Gibson	21
48	LAC TARONTO or TARONTO	Nelson Mahmoudi	36
49	LARRY RUDD JR	Erin Campbell Rudd	38
50	LAUREL	Counc. Mike Waddington	11
51	LAURIE PANGMAN	Mike Carriere	59
52	LIBARIAN	Nadia Libarian	17
53	MANN	Georgina Heritage Cttee	1
54	MARTIN WAY	Shirlee Wharto-Hamilton	18
55	MCPHAIL PLACE	Wayne McPhail	28
56	MEEGS	Courtney Marles	33
57	META	Audrey Meta McCluskey	67
58	MOORE or GAIL MOORE	2019 Citizen of the Year	71
59	OLD TOWN ROAD	Kaileigh Quigg	51
60	ORIOLE	Heidi Manners	29
61	OSPREY	Heidi Manners	29
62	OUENTIRONK	Nelson Mahmoudi	36
63	PERKINS	Michael and Vicky Garvey	53
64	PETER VAN LOAN or VAN LOAN	Diana Cosby	27
65	PETERS	Joan Peters, Laurie Pangman, Lisa Scott	42, 58, 65
66	PETERS CORNER(S)	Robyn Gibson, Brandi Gamble, Jennifer Peters, Marie Morton, Xheryl Baribeau, Tanya Peters, Jane (Unknown Last Name)	21, 31, 34, 39, 50, 57, 63
67	PROSPERITY	Forrest Jones	15
68	PROSSER	Georgina Heritage Cttee	1
69	REED	Counc. Mike Waddington	11
70	RYDER VAN	Siana Muser	26
71	SEDORE	Kelly Skilton	24
72	SERGEI FIRER or FIRER	Polyna Firer	68
73	SHEPPARD	Georgina Heritage Cttee	1
74	SHIRLEE	Shirlee Wharton-Hamilton	18
75	SMALLEY'S WHARF	Georgina Heritage Cttee	1
76	SPLITROCK	Mike Burrows	8
77	SPRAGUE	Georgina Heritage Cttee	1
78	SPREADER	Courtney Marles	33
79	STORM PLUM	Siana Muser	26
80	SWAN	Heidi Manners	29

2019 STREET NAME CAMPAIGN NAMES NOT SUPPORTED			
	Name	Proposed By	Subm #
81	TANYA PRESTON	Tanya Preston	14
82	TAYLOR	Harmony Taylor	64
83	TEA POT CHERRY BERRY	Siana Muser	26
84	TERRY FOX	Laurie Pangman	58
85	THOMAS WILLIAM	Shirlee Wharton-Hamilton	18
86	THOMPSON	Georgina Heritage Cttee	1
87	THORDARSON	Jordan Middlebrook	4
88	TOMLINSON	Georgina Heritage Cttee	1
89	VICTORY	Barbara Robbins	23
90	VINE or GRANT VINE	Scot Davidson & Suzanne Howes	2 & 13
91	WAUCKEEN	Patricia Hefford	19
92	WHITEFISH	Courtney Marles	33
93	WILLIAM OWEN or OWEN	Angela Owen-Johnston	66
94	WILLOUGHBY	Georgina Heritage Cttee	1
95	WINCH	Cynthia Bedford	60
Possible Reasons for Not Supporting Name:			
•	Duplication with an existing street name, or a street name already on reserve for future use within Georgina or elsewhere within York Region		
•	Sounds Similar to an existing or approved street name within Georgina or elsewhere within York Region		
•	Difficult to Spell in an emergency situation		
•	Difficult to Pronounce in an emergency situation		
•	Not Suitable due to complexity of word or word that can be pronounced differently		
•	Too Long		
•	Inappropriate due to discriminatory or derogatory nature, sexual overtones, inappropriate humour, parody, slang or double meaning		
•	Consent Not Given by named individual or representative of same		
•	Not Supported by Street Name Committee		

