

THE CORPORATION OF THE TOWN OF GEORGINA

REPORT NO. PB-2015-0025

**FOR THE CONSIDERATION OF
COUNCIL**

APRIL 8, 2015

**SUBJECT: TOWN OF GEORGINA DRAFT OFFICIAL PLAN, APRIL 2015
FILE NO. 02.180**

1. RECOMMENDATION:

- 1. That Council receive Report No. PB-2015-0025 prepared by the Planning Division, dated April 8, 2015, respecting the Town of Georgina Draft Official Plan, April 2015.**
- 2. That Council authorize staff to release the Town of Georgina Draft Official Plan, April 2015 for formal agency circulation and review, and for public review and comment, and that the deadline for the submission of comments be Friday, July 31, 2015.**
- 3. That Council authorize staff to provide written correspondence to owners of lands that contain a site specific amendment or existing Lakeshore Residential Area designated properties that are proposed to be revised by the Draft Official Plan, April 2015.**
- 4. That Council authorize staff to provide written correspondence to each person who submitted a written submission under the Official Plan Review process, to advise of staff's recommendation on their submission.**
- 5. That Council authorize staff to provide written correspondence to all persons who are registered as an interested party, advising of the Draft Official Plan release, revised project timing, future upcoming public consultation events and how to submit comments on the Draft Official Plan.**
- 6. That notice of the release of the Draft Official Plan and how to submit comments be placed in the local newspaper and posted on the Town's website.**
- 7. That the Clerk forward a copy of Report No. PB-2015-0025 to Valerie Shuttleworth, Chief Planner, for the Regional Municipality of York and Mike Walters, Chief Administrative Officer, for the Lake Simcoe Region Conservation Authority.**

2. PURPOSE:

The purpose of this report is to present the Town of Georgina Draft Official Plan, dated April 2015, and to recommend that Council authorize its release for formal agency and public review and comment.

3. BACKGROUND:

The Planning Act requires local Official Plans to be reviewed on a regular basis to ensure that the Official Plan:

- Conforms with the upper-tier Official Plan (York Region);
- Conforms with, or does not conflict with, Provincial Plans (Greenbelt Plan, Growth Plan for the Greater Golden Horseshoe, Lake Simcoe Protection Plan);
- Has regard to matters of Provincial Interest under Section 2 of the Planning Act; and
- Is consistent with Provincial Policy Statements (PPS, 2014).

As a result, on October 25, 2012 Council authorized staff to commence a review of the Town's Official Plan in accordance with Sections 26 and 27 of the Planning Act. The Review was to focus on all of the lands in Georgina outside of the Secondary Plan areas (Secondary Plan areas include Keswick, Keswick Business Park, Sutton/Jackson's Point and Pefferlaw). A map displaying the OPR study area is included as Attachment 1.

In September 2013, the Town retained the firm MHBC Planning, Urban Design and Landscape Architecture to undertake the Official Plan Review (OPR), in conjunction with Town planning staff. The consultant team is led by Jim Dymont of MHBC, while Senior Planner-Policy, Andrea Furniss is managing the project for the Town. The Review is also being guided by a Steering Committee and assisted by a Technical Advisory Committee. Through the York Info Partnership, York Region Geomatics staff have prepared the schedules/mapping for the Draft Official Plan.

In March 2015, the OPR Steering Committee and staff from York Region and the Lake Simcoe Region Conservation Authority conducted a preliminary review of the Draft Official Plan. A number of suggested revisions were received and incorporated in the Draft Official Plan currently before Council. Staff and MHBC Planning are of the opinion that the Draft Official Plan is ready to be released for formal agency and public review and comment.

Given the size of the document, it has not been included as an attachment to this report. Rather, the document has been circulated to Council and Department Heads under separate cover. The Draft Official Plan has not been made available to the

public at this time, as it is currently a working document that requires Council authorization to release it.

Upon Council authorizing its release, the Draft Official Plan will appear on the Town's website. Hard copies of the Draft Official Plan will also be made available for the public to view at the Civic Centre and the Town's three public libraries. A "red-lined" or edited version of the existing Official Plan showing all proposed changes (strike-out of deleted text and red font to display new proposed text) will also be made available on-line.

The process to create the Draft Official Plan has been extensive and the work undertaken to date is described in greater detail below.

3.1 Work Plan

The OPR work plan contains 39 tasks and is organized into the following three major phases:

- Phase 1: Background Research and Policy Review
- Phase 2: Policy Development
- Phase 3: Official Plan Preparation

The original project timetable is included as Attachment 2. Largely due to the 2014 municipal election, work on the Review slowed down and some tasks were put on hold.

On January 14, 2015, Council endorsed the 2015 timetable for completing the OPR, which is included as Attachment 3. Staff have since prepared a further revised timetable for 2015, as there is a need for some flexibility in completing the OPR. This is primarily due to the Senior Planner-Policy leaving on a maternity leave and the anticipated difficulties of scheduling summer meetings. Extending the timelines will also provide agencies and the public a longer time period to review and provide comments on the Draft Official Plan. The goal however, will be to submit the Council approved proposed Official Plan to York Region by the end of 2015 at the latest. The revised workplan timetable for 2015 is included as Attachment 4.

3.2 Background Reports

The OPR work plan included the preparation of two key background reports.

3.3.1 Planning Policy Review Report

The Planning Policy Review Report was prepared in March 2014 and can be found on the Town's website (<http://www.georgina.ca/opr-index.aspx#officialplan>). The

Report outlines the upper tier policy documents and major policy priority areas that must be considered during the OPR.

The relevant upper tier policy documents discussed in the Report included the Planning Act, Provincial Policy Statement, Greenbelt Plan, Lake Simcoe Protection Plan, Growth Plan for the Greater Golden Horseshoe and the York Region Official Plan. The major policy priority areas identified in the Report include:

- Sustainability
- Environment
- Growth Management
- Settlement Areas
- Agricultural and Rural Areas
- Accessibility
- Employment
- Housing
- Cultural Heritage
- Transportation

3.3.2 Planning Directions Report

The Planning Directions Report was prepared in June 2014 and can be viewed on the Town's website (<http://www.georgina.ca/opr-index.aspx#officialplan>). The Report provides recommended direction to address those policy areas identified in the Planning Policy Review Report, and provides further direction to ensure that the Official Plan policies related to land use, growth and development meet the current and future needs of the Town.

The Planning Directions Report lists all the sections that are proposed in the Official Plan and identifies what updates are required within each section. The Report also contains associated draft updated mapping.

3.3 Public Consultation

Public consultation has been a significant component of the OPR process. The Planning Act outlines the minimum requirements for public consultation when conducting an OPR, which include:

- Holding a special meeting of Council, open to the public, to discuss the revisions that may be required
- Holding an Open House for the purpose of giving the public an opportunity to review and ask questions about the information and material made available on the current proposed Official Plan

- Holding a Public Meeting for the purpose of giving the public an opportunity to make representations in respect of the proposed Official Plan

The components of the Town's public consultation process for the OPR include the ability to provide formal comments through the above noted Planning Act meeting requirements, as well as additional public consultation meetings which are outlined in more detail below:

Phase 1 of OPR:

- Public Workshop #1 (November 14, 2013)
- Special Public Meeting of Council under the Planning Act (December 11, 2013)
- Two Hamlet Open Houses (Udora – January 22, 2014 and Egypt – January 27, 2014)

Phase 2 of OPR:

- Public Workshop #2 (March 24, 2014)

Phase 3 of OPR:

- Open House under the Planning Act (Tentatively scheduled for May/June 2015)
- Public Meeting of Council under the Planning Act (Tentatively scheduled for August 2015)

The public consultation process began with Public Workshop #1 being held on November 14, 2013 at the Recreational Outdoor Campus (ROC). The purpose of this workshop was to allow participants to provide input into creating the vision, guiding principles and objectives of the Official Plan. A Public Workshop #1 Report was prepared, and is available on the Town's website (<http://www.georgina.ca/opr-index.aspx#officialplan>).

A Statutory Special Meeting of Council, which was open to the public, was held on December 11, 2013. This meeting is required under the *Planning Act* before revising the Official Plan, in order to discuss revisions that may be required to the Official Plan. During the meeting, staff outlined a number of areas that could potentially be revised. Public members were then invited to provide comments on matters that should be considered during the review process. In this regard, three public members spoke at the meeting. The minutes from this public meeting outlining those public member comments are included as Attachment 5.

Planning staff also consulted with Sheri Taylor, Consultant Worker, from the Chippewas of Georgina Island. Ms. Taylor provided the Town's consultant, Jim Dymment, MHBC Planning and Andrea Furniss, Senior Planner – Policy with a tour of

Georgina Island on January 22, 2014 and discussed their interests in regards to the OPR. Some of the key interests of the Chippewas of Georgina Island include cultural and archaeological resources, tourism and economic development, fish and wildlife habitat and ensuring the protection of Lake Simcoe and its tributaries. Staff will be providing a copy of the Draft Official Plan to the Chippewas of Georgina Island for their review and comment.

Two Open House events specifically designed to consider the future of the Town's Hamlets were held on January 22, 2014 at the Udora Community Hall, and on January 27, 2014 at the Egypt Hall. The Open House events involved a presentation by MHBC Planning of the OPR process, an outline of the Hamlets (Belhaven, Baldwin, Virginia, Ravenshoe, Brownhill and Udora) as well as a description of the Greenbelt Plan policy related to the Hamlets. Participants also took part in a group exercise that was organized according to their Hamlet of interest, and discussion was held around the character of the Hamlet, future opportunities and constraints and what was the long term vision for the community.

The majority of participants indicated that they were satisfied with the current size of their Hamlet and identified a number of constraints in their communities that would prevent further growth from occurring. However, some residents indicated the potential and desire for some infill and minor rounding out of the boundaries. A Hamlet Open House Events Report was prepared, and is available on the Town's website (<http://www.georgina.ca/opr-index.aspx#officialplan>).

Public Workshop #2 was conducted on March 24, 2014 at the ROC. The workshop allowed staff to receive input on the current and proposed Official Plan vision, guiding principles and objectives. Residents also provided input on specific policy directions, which was utilized in policy formulation.

It should also be noted that staff have an interested parties list composed of 207 people who receive notification of updates to the OPR process and public consultation events.

3.4.1 Written Submissions

To date, staff have received 33 written submissions from the public, agencies and private landowners/agents. Staff have reviewed all submissions received to date and have made a recommendation on each one. Attachment 6 includes all written submissions received to date. Attachment 7 includes a matrix (and relevant air photos) that outlines each submission and staff's comments/recommendations in response. It should be noted that Attachment 6 also includes written correspondence from the Alderville First Nation and the Chippewas of RAMA First Nation requesting to be kept informed of the OPR. The matrix in Attachment 7 does not display these particular submissions as there is no need for staff recommendation/comments. It is

being recommended that Council authorize staff to send letters to each individual who has made a written submission, advising of staff's recommendation/comment. Those individuals will also be made aware of the remaining public consultation opportunities in the OPR process in order to provide any comments.

It should be noted that during the Hamlet Open Houses and the two Public Workshops, many public members submitted comment sheets that were made available at the meetings. These comment sheets are not included within Attachments 6 or 7. Rather, these comments were incorporated into the reports that were prepared following the above noted public consultation events, and were considered in the preparation of the Draft Official Plan.

3.4.2 Site-Specific Land Use Designation Review

Planning staff have reviewed every property within the OPR study area that contains a site-specific land use designation. There are 82 such properties, which contain one, or a combination of the following designations: Estate Residential Area, Parkland Area, Commercial Recreation Area, Rural Commercial Area, Rural Industrial Area and Urban Residential Area. Staff reviewed the designations based on the protocol established in the Planning Directions Report, which was supported by the Steering Committee and presented to Council on June 18, 2014. A copy of the protocol is included as Attachment 8.

Using the aforementioned Protocol, planning staff identified 12 properties that appeared to contain key natural heritage and/or key hydrological features that could possibly be adversely impacted by development and therefore potentially falling into the category of recommending removal of the designation in whole or in part.

Staff then met with the Lake Simcoe Region Conservation Authority to undertake a more detailed review and discussion of these 12 properties. The Conservation Authority indicated that 4 of the 12 properties were not of concern and the existing designation can remain as is, while the remaining 8 properties were recommended to have the designation removed or have the limit of designation refined to remove the area containing features from the designation. These revisions have been made to Schedule A2-Land Use Plan. A table outlining these 8 properties and staff's recommendations are included in Attachment 9. Air photos of the 8 identified properties are included as Attachment 10. Maps displaying the proposed designation changes are included as Attachment 11. The maps in Attachment 11 also display hatching on the area of each property proposed to be removed from the designation.

It is being recommended that Council authorize staff to send letters to the owner of each property that is proposed to be amended, in order to advise of staff's recommendation. Those individuals will also be made aware of the remaining

public consultation opportunities in the OPR process in order to provide any comments.

3.4.3 Existing Lakeshore Residential Area Designation West of Sutton/Jackson's Point

Through the Willow Beach and Surrounding Lakeshore Residential Area Water and Sewer Project, the majority of lands designated Lakeshore Residential Area located along the lakeshore between Keswick and Sutton/Jackson's Point were re-designated to Serviced Lakeshore Residential Area through OPA #103 in 2009. The primary intent of the servicing project was to provide municipal water and sewer services to existing development on private services and existing vacant lots of record, as well as to allow some minor infill development.

As a result, in defining the servicing area boundary, 6 relatively large vacant properties designated Lakeshore Residential Area were not included within the servicing area. These 6 parcels are identified on Attachment 12. Currently, these properties remain subject to the policies that may allow for new residential lot creation on private services.

In consideration of the proximity of the lands to Lake Simcoe and policies within the Draft Official Plan, Lake Simcoe Protection Plan and Greenbelt Plan, these properties have been reviewed in terms of changing the existing Lakeshore Residential Area designation to another more appropriate designation (i.e. Rural or Environmental Protection), in whole or in part, or placed in the serviced area boundary in whole or in part. Staff are recommending that the 6 properties be removed from the Lakeshore Residential Area designation and placed into more appropriate designations, which are identified in Attachment 13.

Staff recommend that letters be sent to the owner of each of the above noted 6 properties, in order to advise of the proposed changes. Those individuals will also be made aware of the remaining public consultation opportunities in the OPR process in order to provide any comments.

4. ANALYSIS:

4.1 Draft Official Plan Overview

The background research, upper-tier policy review, site-specific land use designation review, as well as comments received from the Steering and Technical Advisory Committees and from the public during consultation meetings and through written submissions, have all contributed to producing the Draft Official Plan, April 2015. The most significant changes or updates to the existing Official Plan are outlined below:

Municipal Structure Plan

- New schedule added to reflect the land use structure of the Town of Georgina at the broader municipal level (identifies Settlement Areas, Countryside Area and Greenlands System).

Vision, Guiding Principles and Objectives

- A vision has been incorporated into the Plan that will serve along with the guiding principles and objectives, as the basis for the policies of the Plan
- Guiding principles and objectives have been updated to reflect current Provincial and Regional planning framework changes and any identified local priorities
- New 'Sustainability' guiding principle and associated objectives have been included
- New guiding principle and objectives for 'Natural Hazards' have been included

Growth Management

- New section on 'Growth Management' has been included in order to direct and manage the amount and distribution of population and employment growth that is projected for the Town over the 20 year planning period
- Incorporates the population and employment growth forecasts as contained in the York Region Official Plan, and as required by the Growth Plan for the Greater Golden Horseshoe and Provincial Policy Statement
- Policies emphasize that the majority of growth should continue to be directed to the existing urban serviced areas of Keswick and Sutton/Jackson's Point

General Land Use and Development Policies

- Policies included on hydro corridors and electricity transmission and distribution systems, as requested by Hydro One Networks Inc.
- Policies addressing telecommunication facilities have been updated to reflect the Town's current Antenna System Siting Protocol
- New subsection included on 'Site Alteration' to specify that the removal of topsoil, the placing or dumping of fill material and the alteration of the grade of land shall be regulated through the Town's Site Alteration By-law, or subject to Conservation Authority regulations if under the Conservation Authority's jurisdiction
- Peat extraction to be a prohibited activity in all Official Plan designations
- Revised 'Natural Hazards' policies and mapping
- New subsection included on 'Contaminated Lands'
- Policies included that address when a home industry may be permitted
- New subsection on 'Minimum Distance Separation Formula' created to describe how the model will be applied in the Town

- New subsection on 'Renewable Energy Projects' created to outline criteria for Council to consider when reviewing and providing comments on proposed renewable energy projects
- New policies incorporated into the 'Aggregate Resource Priority' subsection to address when mineral aggregate operations are permitted in the Greenlands System or Environmental Protection Area designation as per the Greenbelt Plan

Sustainable Natural Environment

- Previous Greenlands System policies replaced with new policies in order to comply with the Greenbelt Plan and York Region Official Plan
- New Greenlands System mapping incorporated into Official Plan to reflect the York Region's Official Plan Greenlands System and the Greenbelt Plan's Natural Heritage System
- New 'Lake Simcoe Protection' subsection added, which includes policies from the Lake Simcoe Protection Plan
- New subsection and mapping for 'Source Water Protection' was created to be consistent with the approved South Georgian Bay Lake Simcoe Source Protection Plan
- Mapping updated to show key natural heritage features and key hydrological features
- New subsection on 'External Connections' added, which contains policies on the river valley connections identified in the Greenbelt Plan through Keswick, Sutton/Jackson's Point and Pefferlaw (Maskinonge, Black and Pefferlaw rivers).

Countryside Area

Agricultural Protection Area, Specialty Crop Areas and Rural Area Designations

- 'Specialty Crop Areas' now addressed in the Official Plan
- New policy to permit temporary farm gate sales of produce or goods that are primarily grown or made on the farm in the Agricultural Protection Area and Rural Area
- Policies added to permit major recreational uses in the Rural Area subject to outlined criteria and an amendment to the Official Plan and Zoning By-law
- Mapping for the Rural and Agricultural Protection Areas updated to reflect York Region Official Plan mapping
- Policies developed to outline criteria for when temporary accommodation for seasonal farm workers is permitted in the Rural and Agricultural Protection Areas
- Policies added to address cemeteries in the Rural Area

Environmental Protection Area

- Previous Environmental Protection Areas 1, 2 and 3 designations deleted and replaced with one comprehensive Environmental Protection Area designation
- Environmental Protection Area designation composed of key natural heritage features, key hydrologic features and a 30 metre vegetative buffer zone
- Greenbelt Plan policies included that address new development or expansion of existing uses

Estate Residential Area

- Two existing Estate Residential Area designations and associated policies have been removed, in accordance with the Greenbelt Plan and the site-specific land use designation protocol outlined in the Planning Directions Report

Resort Recreation Area

- Existing Resort Recreation Area policies had their basis from the previous York Region Official Plan
- New York Region Official Plan has removed Resort Recreation policies, and as a result the Resort Recreation Area designation and associated policies have been removed
- Policies have been incorporated into the Commercial Recreation Area designation, in accordance with the Greenbelt Plan, that outline criteria to permit resort recreation type uses in the Rural Area.

Commercial Recreation Area

- Additional policies added regarding criteria to expand a Commercial Recreation Area designation or to create a new Commercial Recreation designation, in accordance with the York Region Official Plan

Settlement Areas

Secondary Plan Areas

- New policies incorporated to provide guidance and direction on matters to be addressed and content to be contained within the Secondary Plans (i.e. prohibiting the conversion of employment lands except as part of a Municipal Comprehensive Review, including policies that will assist in achieving the population and employment targets within the York Region Official Plan and the new Official Plan, etc.)

Urban Residential Area

- Policy revised to indicate that any Official Plan amendment application to revise the special provisions for the proposed Maple Lake Estates planned retirement community shall consider the policies of the Greenbelt Plan, York Region Official Plan, Growth Plan for the Greater Golden Horseshoe and the Lake Simcoe Protection Plan as amended from time to time, and will be required to consider the functions, attributes and linkages of the significant natural features as identified on the Schedules of this Official Plan (previous policy referenced the Town's Natural Features and Greenlands System Study, 1996).

Hamlet Area

- Policy added to state that the boundaries of the hamlet areas cannot be revised unless permitted in the updated Greenbelt Plan
- Permitting small-scale commercial and industrial uses that are compatible with adjacent land uses and the main residential character of the hamlet
- Requiring an Official Plan Amendment for a development application that would result in 4 or more lots or dwellings
- Boundaries of the hamlet areas have been rounded out slightly in Udora and Baldwin

Lakeshore Residential Area and Serviced Lakeshore Residential Area

- Policy included for both designations that requires development and site alteration to comply with policies related to "shoreline built-up areas" in the Lake Simcoe Protection Plan
- Policy included that only permits an expansion to the Lakeshore Residential Area designation as part of a Municipal Comprehensive Review

Healthy and Complete Communities

Housing

- Several new policies regarding affordable housing (i.e. targeting a minimum of 25% of new housing to be affordable to low and moderate incomes)
- Policies addressing rental housing
- Encouraging the provision of emergency housing and special needs housing, including group homes in appropriate locations throughout the Town
- Policies to permit an accessory apartment in a detached accessory building or structure in the Rural Area, Agricultural Protection Area and Hamlet Area designations
- Policies incorporated to permit garden suites in all land use designations permitting a single detached dwelling

Recreation and Open Space

- Trails and Active Transportation Master Plan and Recreational Facility Needs Study incorporated into policies where appropriate

Community Improvement

- New policies added to clarify the meanings of a Community Improvement Project Area and Community Improvement Plan And to designate the entire study area as a Community Improvement Project Area
- Removal of Schedule K – Community Improvement Area as the entire study area may now be eligible for designation, by by-law, as a Community Improvement Project Area

Community Design

- New subsection for 'Dark Sky Policies' in order to minimize light trespass
- New subsection added on 'Accessibility' to address accessible design

Heritage Conservation and Archaeological Preservation

- Several new policies incorporated to address York Region's Archaeological Management Plan, which deals with the conservation of archaeological and heritage resources
- Policies developed to outline requirements for designating a Heritage Conservation District

Servicing and Infrastructure

- New policies incorporated from York Region Official Plan and requests from Hydro One Networks Inc. regarding future transportation corridors
- Policy added to indicate that the Town will encourage the Ministry of Transportation to complete the extension of the Highway 404 to Glenwoods Avenue, and if not pursued, the Town will work with York Region regarding options to extend the corridor to the Keswick Business Park Area
- Servicing policies to address the Lake Simcoe Protection Plan requirement for on-site sewage system maintenance re-inspections
- 'Trails and Active Transportation Network' subsection added to reflect the Town's Trails and Active Transportation Master Plan
- Policies added from Lake Simcoe Protection Plan regarding requirements for stormwater management and drainage plans

- Policy added that prevents a new on-site sewage system or subsurface sewage works from being permitted within 100 metres of the Lake Simcoe shoreline, other lakes or any permanent stream except in certain circumstances

Development Review

- Policies added to provide clarification on when consents may be permitted in the Rural Area and Specialty Crop Area

Implementation

- Expanded policies on how the Town may acquire parkland in accordance with the Planning Act
- Policy added regarding when the Town may consider the provision of cash-in-lieu or a combination of cash-in-lieu and parkland, in lieu of the 5% parkland dedication
- Environmental Advisory Committee and Agricultural Advisory Committee subsections removed and replaced with 'Town Advisory Committees' to indicate that the Town may establish a range of other advisory committees to provide Council with independent advice and expertise from the local community
- New subsection incorporated to address monitoring and measuring performance of the Official Plan

Interpretation

- New 'Transition' subsection incorporated in order to address development applications received before and after the Official Plan's adoption by Council

Definitions

- Many new definitions added from Greenbelt Plan, York Region Official Plan, Provincial Policy Statement and the South Georgian Bay Source Water Protection Plan

5. NEXT STEPS

Following the release of the Draft Official Plan to the agencies and public for review and comment, staff will be scheduling a Statutory Open House that is tentatively being targeted for May/early June. The purpose of the Open House is to provide the public with an opportunity, in a more informal setting, to review and ask questions about the Draft Official Plan.

As can be seen in the Draft Official Plan, April 2015, there is additional information presented in the side bars to make the Official Plan more user friendly. This

supporting information is still a work in progress and as part of the public consultation process, staff will be asking public members to provide comments on components of the Official Plan that may need supporting information to assist in interpreting the policies. Upon receiving this information, staff will then prepare additional supporting information/diagrams in the side bar to help assist the readers of the Plan.

Following the Open House, staff will be attending meetings of various Town advisory Committees, including the Economic Development, Agricultural, Environmental, Heritage and Accessibility Advisory Committees in order to present the Draft Official Plan and receive input from Committee members. A Technical Advisory Committee will also be held to receive input on the Draft Official Plan. Agencies and the public will have until July 31, 2015 to submit comments.

A second Draft of the Official Plan will then be made based on comments received from the public, agencies, Council, Town Departments, Town Advisory Committees, Technical Advisory Committee and Steering Committee. The Statutory Public Meeting under Section 17(15) of the *Planning Act* will then occur in August, 2015 to present the proposed second Draft of the Official Plan.

After the Statutory Public Meeting, a Steering Committee meeting will be held to discuss any further comments received and a final Official Plan will then be prepared.

The final tasks will be to bring the proposed Official Plan to Council for adoption, and then to submit the final documents to the approval authority (York Region).

6. FINANCIAL AND BUDGETARY IMPACT:

There is no financial or budgetary impact resulting from this report.

7. PUBLIC CONSULTATION AND NOTICE REQUIREMENTS:

A discussion regarding the public consultation process is included in the Background Section of this report.

Once Council authorizes staff to release the Draft Official Plan to the public, all interested parties on record will receive notice in the mail that the Draft Official Plan is available on the Town's website and at the Civic Centre and public libraries for review.

Notice for the upcoming Open House and Statutory Public Meeting will be provided in the newspaper in accordance with the Planning Act, and mailed to interested parties and posted on the Town's website.

8. CONCLUSION:

The Draft Official Plan is ready to be released for review and comment. It is therefore respectfully requested that Council adopt the recommendations of this Report authorizing the release of the Draft Official Plan, April 2015.

Prepared by:



Andrea Furniss, M.PL, MCIP, RPP
Senior Planner – Policy

Recommended by:



Harold W. Lenters, M.Sc.PI, MCIP, RPP
Director of Planning and Building


Approved by:



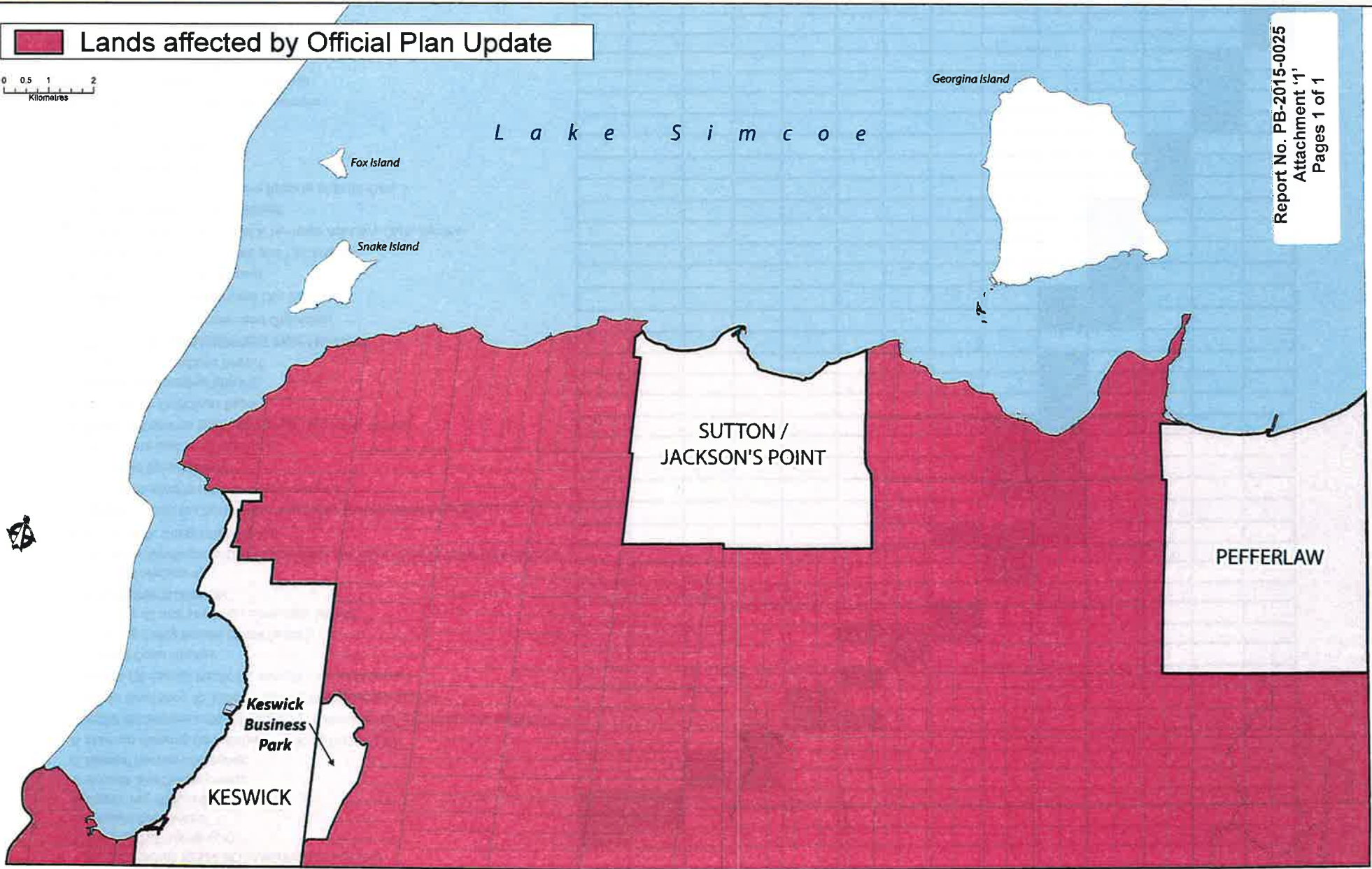
Winanne Grant, B.A., AMCT, CEMC
Chief Administrative Officer

30 March 2015

- Attachment 1 – OPR Study Area
- Attachment 2 – Original Project Timetable
- Attachment 3 – 2015 Timetable
- Attachment 4 – Revised 2015 Timetable
- Attachment 5 – December 11, 2015 Council Meeting Minutes
- Attachment 6 – Written Submissions
- Attachment 7 – Staff Recommendations/Comments on Written Submissions and Relevant Air Photos
- Attachment 8 – Site-Specific Land Use Designation Protocol
- Attachment 9 – Eight Site-Specific Land Use Designation Recommendations
- Attachment 10 – Eight Site-Specific Land Use Designation Air Photos
- Attachment 11 – Eight Site-Specific Land Use Designation Recommendation Maps
- Attachment 12 – Reviewed Lakeshore Residential Area Property Locations
- Attachment 13 – Recommended Amendments to Lakeshore Residential Area Properties

 Lands affected by Official Plan Update

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Kilometres



Report No. PB-2015-0025
Attachment '1'
Pages 1 of 1

Town of Georgina - Original Official Plan Review Project Timing (2013-2014)

TASKS	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG
BACKGROUND RESEARCH AND POLICY REVIEW														
1 Start-up TAC Meeting #1														
2 Prepare Base Maps														
3 Upper Tier Policy Review														
4 Growth and Development														
5 Natural Features Mapping														
6 Start-up Steering Committee Mtg #1 & TAC Mtg #2														
7 Initial Discussions with Agricultural, Environmental & Heritage Committees														
8 Public Workshop #1 Vision /Guiding Principles/Objectives														
9 Sec.26 (3) Special Public Meeting of Council/Report														
10 Hamlet Open Houses														
11 Planning Policy Review (Draft Report)														
12 TAC Mtg #3 and Steering Committee Mtg #2														
POLICY DEVELOPMENT														
13 Public Workshop #2														
14 Economic Development, Environmental, Heritage & Agricultural Committees														
15 Site Specific Designation Review														
16 Update Report to Council/Planning Policy Review (Final Report)														
17 Environmental/Natural Heritage Features														
18 Shoreline Development														
19 Agriculture and Rural Resources														
20 Rural Settlements and Pefferlaw SP Boundary Review														
21 Draft Policy Directions Report														
22 Steering Committee Mtg #3														
23 Final Policy Directions Report														
OFFICIAL PLAN AMENDMENT PREPARATION														
24 Vision, Guiding Principles and Objectives														
25 Official Plan Schedules/Land Use Policies														
26 First Draft of OP Amendment														
27 Steering Committee Mtg #4 and TAC Mtg #4														
28 Agricultural, Environmental & Heritage Advisory Com. Review														
29 Second Draft of OP Amendment														
30 Report to Council to Approve Release of Draft OPA														
31 Agency Circulation														
32 Sec.17(16) Open House														
33 TAC Mtg #5														
34 Prepare Third Draft of OP Amendment														
35 Sec. 17(15) Statutory Public Meeting														
36 Steering Committee Meeting #5														
37 Prepare Final Amendment														
38 Council Meeting to Adopt Final Amendment														
39 Submit Final Documents to Approval Authority														

Town of Georgina - 2015 Official Plan Review Project Timing

TASKS	JAN	FEB	MAR	APR	MAY	JUN	JULY	AUG	SEPT	OCT	NOV	DEC
POLICY DEVELOPMENT												
15 Site Specific Designation Review												
20 Pefferlaw SP Boundary Review												
OFFICIAL PLAN PREPARATION												
25 Official Plan Schedules/Land Use Policies												
26 First Draft of OP												
27 Steering Committee Mtg #4 and TAC Mtg #4												
28 Agricultural, Environmental, Heritage, Econ.Dev.Committee Review												
29 Second Draft of OP												
30 Report to Council to Approve Release of Draft OP												
31 Agency Circulation												
32 Sec.17(16) Open House												
33 TAC Mtg #5												
34 Prepare Third Draft of OP												
35 Sec. 17(15) Statutory Public Meeting												
36 Steering Committee Meeting #5												
37 Prepare Final OP												
38 Council Meeting to Adopt Final OP												
39 Submit Final Documents to Approval Authority												

Town of Georgina - 2015 Revised Official Plan Review Project Timing

TASKS	JAN	FEB	MAR	APR	MAY	JUN	JULY	AUG	SEPT	OCT	NOV	DEC
POLICY DEVELOPMENT												
15 Site Specific Designation Review												
20 Pepperlaw SP Boundary Review												
OFFICIAL PLAN PREPARATION												
25 Official Plan Schedules/Land Use Policies												
26 Working Draft of OP												
27 Steering Committee Mtg #4												
28 Informal Review by LSRCA and York Region												
29 First Draft of OP												
30 Report to Council to Approve Release of Draft OP												
31 Agency Circulation and Public Posting												
32 Sec.17(16) Open House												
33 Agr.,Env., Access., Heritage, Econ.Dev.Committee Review												
34 TAC Mtg #4												
July 31, 2015 - Deadline for agency/public comments												
35 Prepare Second Draft of OP												
36 Sec. 17(15) Statutory Public Meeting												
37 Steering Committee Meeting #5												
38 Prepare Proposed OP for Council Adoption												
39 Council Meeting to Adopt Proposed OP												
40 Submit Documents to Approval Authority (York Region)												

9. DELEGATIONS/SPEAKERS/PETITIONS cont'd

Moved by Councillor Davison, Seconded by Councillor Smockum

RESOLUTION NO. C-2013-0488

That the deputation made by Robert and Deborah Salmons requesting municipal assistance with the Georgina Cangrands Kinship Support Group be received, that Town Council officially recognize the group, that the organization be appropriately advertised and that the matter be referred to the Recreation and Culture Department to provide assistance respecting meeting facilities.

Carried.

8. PUBLIC MEETING(S) UNDER THE PLANNING ACT OR OTHER LEGISLATION

a. STATUTORY MEETING(S) UNDER THE PLANNING ACT OR MEETINGS PERTAINING TO THE CONTINUATION OF PLANNING MATTERS

8(a).1 Report from the Planning and Building Department:
(7:50 p.m.)

8(a).1.1 Town of Georgina Official Plan Review
Statutory Special Meeting of Council under Section 26(3)(b)
of the Planning Act.

Report No. PB-2013-0118

Mayor Grossi explained the procedure for a public meeting.

Andrea Furniss, Senior Policy Planner, addressed Council as follows;

- Official Plan review was authorized in 2012; Official Plans must be reviewed on a regular basis
- major considerations in review include provincial legislation, York Region Official Plan, provincial plans, provincial policies, matters of provincial interest and community needs.
- workshop held in November and was well attended and input received.
- mandatory Special Meeting of Council must be held to discuss potential revisions and opportunity for the public to provide input
- areas of potential revisions include Vision, Guiding Principles and Objectives, Sustainability, Renewable Energy, Environment, Agriculture and Rural Areas, Growth and Settlement, Employment, Accessibility, Cultural Heritage and Archeological Resources, Housing, Transportation, Basis for Secondary Plans.
- submissions received to date include the North Gwillimbury Forest Alliance, 5692 Smith Blvd property, 9489 Morning Glory Road and 1794 Metro Road North.
- a second workshop will be held along with open houses, followed by the final statutory meeting.

a. **STATUTORY MEETING(S) UNDER THE PLANNING ACT OR MEETINGS PERTAINING TO THE CONTINUATION OF PLANNING MATTERS cont'd**

Tony Usher, Planning Consultant for North Gwillimbury Forest Alliance, addressed Council as follows:

- concerns important to the Alliance; protection of wetlands and significant woodlands, advocate Official Plan policies that will achieve development prohibition, and the possible exchange of existing development approvals of Maple Lake Estates in the Official Plan area for approvals in another site

Margaret Downs, 79 Polva Promenade, Udora, addressed Council as follows;

- Lake Simcoe Region Conservation Area indicates Udora as a hamlet of the protected countryside and part of the Greenbelt Plan
- Numbering of homes makes no sense
- branches off Polva Promenade lead to dead ends
- sale of land with no frontage is condoned
- proposal to improve private lanes abandoned by original developer
- Block F is Town-owned, but some residents in Block F are bound by a grant of easement requiring these few to clear the road in the winter season
- Polva Promenade is unsuitable for large vehicles as it is only as wide as sixteen feet on travelled portion, numerous potholes, surface water not properly channelled
- suggested the Town utilize a portion of the \$100 Million made available in October by the Ministry of Agriculture Food and Rural Affairs to address the issues with Polva Promenade

Grant Morris, Planning Consultant, representing Paul Amanatides of 1794 Metro Road East, addressed Council as follows:

- client can develop a portion of his 40 acre parcel.
- client gave the Town O'Dell land and \$10,000 for extension of sanitary sewer.
- hoping to work with Town staff to ensure development is permitted on a portion of his land

Ms. Furniss advised that this provides an opportunity to refine boundaries by slightly expanding or reducing them.

Harold Lenters, Director of Planning and Building, explained that staff would be considering whether the current hamlet boundaries should be maintained, or moved to accommodate certain properties. He noted that Georgina contains one serviced lakeshore area in the west from Keswick to Sutton and one non-serviced lakeshore area in the east from the Provincial Park to Duclos Point.

- a. STATUTORY MEETING(S) UNDER THE PLANNING ACT OR MEETINGS PERTAINING TO THE CONTINUATION OF PLANNING MATTERS cont'd

Moved by Councillor Szollosy, Seconded by Councillor Smockum

RESOLUTION NO. C-2013-0489

- A. That Report PB-2013-0118 prepared by the Planning Division dated December 11, 2013 respecting the Town of Georgina Official Plan Review: Statutory Special Meeting of Council under Section 26(3)(b) of The Planning Act, be received.
- B. That staff and MHBC Planning be directed to consider all public comments received during the Official Plan Review process.

Carried.

- b. NON-STATUTORY MEETING(S) UNDER OTHER LEGISLATION *None*.
- c. OTHER PUBLIC MEETINGS

- 8(c).1 Report from the Administrative Services Department:
(8:44 p.m.)
- 8(c).1.1 Fireworks Licencing – Proposed Revised By-law

Report No. DAS-2013-0049

Jacqueline Roy, Licensing Coordinator, addressed Council as follows:

- the proposed fireworks licencing by-law is to replace two current by-laws, one for the display of fireworks and one for the setting off of fireworks.

Gail Jacklin representing the Kinette Club addressed Council as follows:

- inquired who will provide the 'mandatory educational training' and how much it will cost.
- inquired how many club members will need to obtain a 'police vulnerability sector screening letter'

Ms. Roy provided the following information:

- the mandatory training would be an mandatory, annual three-hour workshop that the Georgina Fire Department and Clerks Division would provide at a cost of \$50.00 per person regarding the safe handling of fireworks.
- Kinsmen are licensed pyro technicians through the Ministry of Natural Resources, which would override the Town's training with proof of certification.
- police screening is standard for all business licensing.
- all members must have screening as they could be left alone with vulnerable individuals such as children and seniors.

Listing of Written Submissions

1. May 10, 2012 – Louis and Richard Hui
2. November 8, 2013 – Anthony Usher
3. November 28, 2013 – Dave Simpson (Alderville First Nation)
4. December 2, 2013 – Dave Mowat (Mississaugas of Scugog Island First Nation)
5. December 4, 2013 – Grant Morris
6. December 10, 2013 – Howard Friedman
7. December 11, 2013 – Keith MacKinnon
8. December 11, 2013 – Margaret Downes
9. December 12, 2013 – Chief Sharon Stinson Henry (Chippewas of RAMA First Nation)
10. December 20, 2013 – Anthony Usher
11. January 21, 2014 – Dave Simpson (Alderville First Nation)
12. January 23, 2014 – Ken and Joan Rogers
13. February 11, 2014 – Stefano Giannini
14. February 24, 2014 – Anthony Usher
15. March 10, 2014 – Gwendolyn Ward
16. March 20, 2014 – Anthony Usher
17. March 21, 2014 – Gary Foch
18. April 17, 2014 – Gwendolyn Ward
19. May 8, 2014 – Anthony Usher
20. May 29, 2014 – Anthony Usher
21. July 7, 2014 – Dave Simpson (Alderville First Nation)
22. July 18, 2014 – Chad B. John-Baptiste
23. August 21, 2014 – Leo F. Longo
24. August 22, 2014 – Anthony Usher
25. September 3, 2014 – Jim Keenan
26. October 17, 2014 – David Mott
27. October 21, 2014 – Mostafa Fattah
28. November 21, 2014 – Infrastructure Ontario
29. November 26, 2014 – Corinne Cooper
30. December 5, 2014 – Gord Mahoney
31. January 30, 2015 – MasonryWorx
32. February 24, 2015 – Dave Simpson (Alderville First Nation)
33. February 27, 2015 – Sylviette Brown

Laura Diotte
Senior Planner – Policy
Town of Georgina

May 8, 2012

RECEIVED
MAY 10 2012
LD

Re: 5692 Smith Blvd, Baldwin

Dear Laura:

We (Louis Hui and Richard Hui) are the owners of the property located at 5692 Smith Blvd, Baldwin, ON. It is located on the north-east corner of Smith Blvd. and Highway 48.

We believe there is great potential for this region. With recent transportation developments such as the extension of the 404, and in combining the forward thinking & planning of Georgina, we believe that our region is properly positioned to leverage the growth of surrounding regions such as Markham and Richmond Hill, and ultimately strengthen our local economy. A strong economy will enable us to provide more resources and infrastructure to current citizens and future visitors, and improve the overall quality of life.

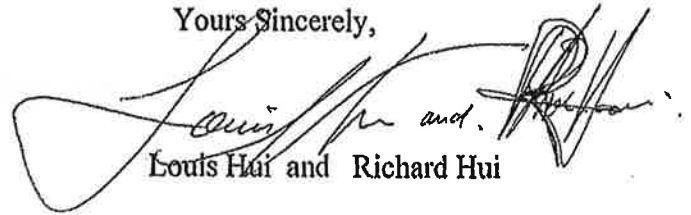
We have developed a vision that entails a combination of property usage. Given our natural surroundings, there exists the opportunity to develop projects that will not only leverage the natural beauty of the region, but also create an environment to inspire creativity and a knowledge-based economy (or at least more of one). Our vision entails a combination of retail, commercial/office, and potentially residential space. In developing a project that brings together different businesses, people, and organizations into a more concentrated area, a unique community can be developed to ultimately augment the local economy by diversifying and enlarging the tax base.

We would very much appreciate the opportunity to discuss this vision with you and to better understand the town's perspective in order to create a tighter collaboration. In order to progress with the vision, we understand that we must first amend our designation as a hamlet; in the same way our neighbours are already designated as a hamlet.

In conclusion, we would like to request an amendment to designate our property as a hamlet. As well, we would like to request consideration and approval to develop a mixed-use commercial property that can diversify and enlarge the town's tax base and ultimately improve the local economy. Your guidance in helping us understand the processes and procedures would be very much appreciated. Therefore, we would like to request a meeting with you to formally discuss this at your earliest convenience. Also, please notify and keep us in mind when the official plan for the Baldwin area is being considered.

If you have any questions or comments, we would appreciate the opportunity to discuss these with you. Please do not hesitate to contact us at the contact information below.

Yours Sincerely,

Handwritten signatures of Louis Hui and Richard Hui. The signature on the left is 'Louis Hui' and the signature on the right is 'Richard Hui'. They are connected by the word 'and'.

Please contact us at

Address: 235 Yorkmills Rd., North York, Ont. M2L1L2

Phone: 647-980-8883

E-mail: Louis_hui@yahoo.com

Anthony Usher Planning Consultant
146 Laird Drive, Suite 105, Toronto, Ontario M4G 3V7

(416) 425-5964
auplan@bellnet.ca

November 8, 2013

Mr. Jim Dymont
MHBC Planning
113 Collier Street
Barrie, Ontario
L4M 1H2

and

Ms. Andrea Furniss
Town of Georgina
Keswick, Ontario
L4P 3G1

Dear Mr. Dymont and Ms. Furniss:

Re: Official Plan Update - North Gwillimbury Forest

I would like to introduce my client, the North Gwillimbury Forest Alliance (NGFA) to MHBC, and advise you both of my client's and my interest in the Official Plan update process and the input we intend to provide.

North Gwillimbury Forest and NGFA

The North Gwillimbury Forest (NGF) is a continuous woodland extending from the north end of Keswick, and continuing east and south of the Lake Simcoe shoreline, into the middle of Sutton (please see attached map, taken from a December 19, 2012 report provided to the Town). At 1,418 ha in area, it is one of the largest remaining forests in the Lake Simcoe watershed, and much of it is also wetland. About an eighth of the forest is within the Sutton/Jackson's Point secondary plan area and so is outside the area covered by this phase of the Official Plan update, as shown in the Public Workshop notice.

The NGFA is an incorporated public interest group that has been advocating on behalf of the NGF since 2011. Over the last two years, the NGFA has enlisted hundreds of supporters, made representations to the Province, Town of Georgina, and Lake Simcoe Region Conservation Authority, and participated in the Ontario Municipal Board hearings approving portions of the Regional Municipality of York Official Plan. More information on NGFA is available at www.savengforest.org.

The Regional Plan

Almost all of the NGF is identified as woodlands on Map 5 of the 2012 York Region Official Plan.

To be "significant woodlands", woodlands must meet criteria set out in that Plan. I believe, having reviewed these criteria against available information on "major polygons" with "incompatible planning permissions" as shown on the enclosed map, that most of the woodlands in the NGF are likely significant woodlands. The Regional Plan prohibits development within significant woodlands in the Official Plan update area.

Much of the NGF is identified as wetlands on Map 4 of the Regional Plan. Most of this area is provincially significant wetland. The Regional Plan prohibits development within wetlands, whether or not provincially significant, in the Official Plan update area.

The Regional Plan's wetland policies appear to be intended to apply to any wetlands, whether or not shown on Map 4. Earlier this year, the Ministry of Natural Resources released the results of remapping of wetlands within the Lake Simcoe watershed as required by the Lake Simcoe Protection Plan, resulting in an overall expansion of wetland areas within Georgina.

There are no policies in the Regional Plan requiring exemption from the application of these policies, except for:

- exemption of "legally existing land uses" as of July 11, 2012 (policy 8.4.15),
- temporary exemption of planning applications complete and in process as of July 11, 2012 (policy 8.4.17),
- various site-specific exemptions, none of which are in Georgina (policies 8.4.19-8.4.22).

There are also a few areas in the Official Plan update area currently exempted from the new Regional Plan because they are subject to site-specific appeal, but none of these are in the NGF.

As the NGFA's objective is to ensure maximum protection of the forests and wetlands within the NGF, it has been seeking to ensure that the Regional Plan policies are appropriately reflected in the Town's Official Plan and zoning bylaw.

Official Plan Update

While this process is sometimes referred to as an "update" and sometimes as a "review" of the Official Plan, we understand it to be fulfilling the Town's obligations under both sections 26 and 27 of the *Planning Act*.

Therefore, the NGFA and I will be advocating Official Plan policies to achieve the following:

- ▶ Prohibition of development in wetlands within the NGF.
- ▶ Prohibition of development in woodlands within the NGF that are determined to be significant woodlands, based on the criteria in the Regional Plan.
- ▶ Clear direction that ensures that the zoning bylaw will be amended to conform with these policies.
- ▶ No exemptions from these policies beyond those required by the Regional Plan.

As well, the NGF is an integral part of broader forest and wetland systems that extend across Georgina and beyond, as shown on Regional Plan Maps 4 and 5. The large majority of Georgina's natural heritage system lies within the Official Plan update area, and almost all of the update area lies within the Greenbelt Plan's Protected Countryside. The policies in the Regional Plan that protect the NGF's forests and wetlands apply equally across the update area. Therefore, the Official Plan policies we are advocating for the NGF should be extended to protect all wetlands and significant woodlands throughout the update area - excepting for now, of course, those few sites subject to unresolved appeals of the Regional Plan.

* * *

The NGFA and I look forward to the first public workshop and to our participation throughout this important process. If there is any further information you require, I would be pleased to provide it.

Yours sincerely,

[original signed by]

Anthony Usher, MCIP, RPP



ALDERVILLE FIRST NATION
11696 Second Line
P.O. Box 46
Roseneath, Ontario K0K 2X0
Phone: (905) 352-2011
Fax: (905) 352-3242

Chief: James R. Marsden
Councillor: Julie Bothwell
Councillor: Jody Holmes
Councillor: Dave Mowat
Councillor: Angela Smoke

November 28, 2013

Town of Georgina
26557 Civic Centre Rd.
Keswick, ON L4P 3G1

Att: Andrea Furniss, Senior Planner

Re: Town of Georgina Official Plan Review

Dear Andrea Furniss,

Thank you for your consultation request to Alderville First Nation regarding the process of updating your Official Plan which is being proposed within our Traditional and Treaty Territory. We appreciate the fact that the Town of Georgina recognizes the importance of First Nations Consultation and that your office is conforming to the requirements within the Duty to Consult Process.

As per the Alderville First Nation Consultation Protocol, your proposed project is deemed a level 3, having minimal potential to impact our First Nations' rights, therefore, please keep Alderville apprised of any changes to your project. I can be contacted at the mailing address above or electronically via email, at the email address below.

In good faith and respect,

Dave Simpson
Lands and Resources
Communications Officer
Alderville First Nation

dsimpson@aldervillefirstnation.ca

Tele: (905) 352-2662
Fax: (905) 352-3242

Andrea Furniss

Subject: FW: Town of Georgina

From: Dave Mowat [<mailto:dmowat@scugogfirstnation.com>]
Sent: December-02-13 2:36 PM
To: Andrea Furniss
Subject: Town of Georgina

Good Afternoon:

I would like to ask if the Town of Georgina Official Plan will adhere to the archaeological management planning process undertaken by York Region?

Thank you

Dave Mowat
Community Consultation Specialist
Mississaugas of Scugog Island First Nation
22521 Island Rd.
Port Perry, ON, L9L 1B6
Phone: (905) 985-3337 ext. 263
Fax: (905) 985-8828
Email: dmowat@scugogfirstnation.com

Mississaugas of Scugog Island First Nation Notice & Disclaimer

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Grant Morris Associates Ltd.

TOWN PLANNING • ARBITRATION • LAND MANAGEMENT • INDUSTRIAL DEVELOPMENT

CANADA * USA * CARIBBEAN

GST N° R1304-7754

File No. PA.03

December 4th, 2013

Andrea Furniss, M.Pl., MCIP, RPP
Planning and Building Department
Town of Georgina
26557 Civic Centre Road
Keswick, ON L4P 3G1
Via email: afurniss@georgina.ca

**Re: Official Plan Update Public Meeting to be held on December 11th,
2013, affecting lands municipally known as 1794 Metro Road East,
Part of Lot 14, Concession 9, Town of Georgina, Owner - Paul
Amanatides**

Dear Ms. Furniss:

Please note that the services of my company have been engaged to pursue a development application on part of the above property.

BACKGROUND:

In 1967, Paul Amanatides bought approximately 46 acres near the lake in the Town of Georgina. Immediately to the west of the property was an estate residential subdivision on large lots and without services. Access to the property along the northern part of the property was by way of a 66-foot wide entrance (O'Dell Lane) which also provided right of way access to an existing house on approximately 15,040 square feet. The other northern access was by way of Rushton Road on an old Registered Plan 322. Both of these access points front on Lake Drive.

The southern boundary of the property is co-incident with Metro Road, a 66-foot road allowance which was widened by 17 feet along the entire frontage of the property.

An existing ditch from the adjoining subdivision ran across the north-west corner of the property and continued to outside the north boundary line of the property and ended about 200 feet from the O'Dell Lane right of way.

The subject site for the most part contained a number of trees in the north western part of the property with a hedge now running through the middle of the property in the vicinity of the O'Dell Lane right of way.

Along the eastern boundary and from the existing house running eastward were treed areas. I am advised by the owner that much of the site was originally farmed and that the vegetation which exists today represents lands which were allowed to lie fallow for many years resulting in most of the vegetation being scrub and brush, with some larger trees dispersed throughout the site.

Sometime around 1970 the Town approached the owner requesting permission to extend the drainage ditch across the north end of his property linking up with the existing drain outside the owner's property to the east. This proposed drain did not follow the natural contours, nonetheless, the Town Engineer saw this as a way to alleviate the growing drainage problem being created outside and north of the owner's property. At that time the owner wanted to develop three lots in the vicinity of the north eastern boundary of his property by extending O'Dell Lane and Rushton Road. The Town said no and the owner refused to allow the Town to create the ditch across his property. The Town threatened expropriation.

The following year the Town sent the owner a letter advising that his property was rezoned for residential R1 and R2 and indicated that he could subdivide his property for estate residential development. This resulted in the owner preparing a plan of subdivision in 1974.

The owner understood that the ditch the Town wanted across the northern part of his property would be temporary and he agreed on the understanding that the fill from the ditch would be left on the south bank of the ditch to be used to fill in the ditch at a later date. It appears that the owner unknowingly provided a permanent easement for the ditch and not a temporary easement as he had thought.

I am advised that as part of the negotiations the Town in 1983 granted the owner a 25-lot estate subdivision on approximately 17 acres and the owner's engineer, in preparing the engineering and grading plans, showed a proposed ditch at the southern boundary of the subdivision. This ditch was intended to replace the ditch along the northern end of the property as a requirement of the Town.

I am advised that the owner spent over \$200,000.00 in engineering and plan of subdivision fees and was requested a further \$50,000.00 to complete the engineering plans for the subdivision. Given the value of estate lots at the time, the owner felt it was not economically feasible for him to proceed with the development and the plan of subdivision was allowed to lapse in 1987.

Sometime in 2005, sanitary sewers and municipal water were extended along O'Dell Lane and Rushton Road. To install the sewers on O'Dell Lane, the owner conveyed to the Town a 66-foot road allowance to provide direct access to the existing properties along O'Dell Lane while retaining an 8-foot strip along the open side of the new road allowance.

In addition to giving up the 66-foot road allowance, I am advised that the owner contributed \$10,000.00 to the Town towards the sanitary sewers and paid to haul the fill from the road onto his property.

The owner understood that the giving up of the land (O'Dell Lane) to the Town, services would be extended to allow him to develop a serviced plan of subdivision on about 17 acres of his property. He estimated that about eighty (80) service lots could be provided thus making the new proposal feasible. As part of the new proposal the Town wanted a new ditch to be constructed along the south end of the 17-acre plan of subdivision. The owner engaged the services of a back-hoe contractor and began clearing the site in preparation for the ditch.

It appears while all these negotiations were in process, MNR established a wetland on part of the property and the Conservation Authority created a new screening area which required their approval before any development could take place. The owner was instructed to cease his activity and was prosecuted for violation of the fill and construction regulations by the Conservation Authority.

Given the location of environmental lands on part of the property, my client will be engaging the services of an Environmental Consultant to determine which parts of the property can be developed.

Since the municipality is in the process of undertaking its 5-year Official Plan review and will be holding its statutory public meeting on December 11th, 2013, ***we respectfully ask that my client's property be included for development in whole or in part in the Official Plan update or defer the above site pending the outcome of the Environmental Study for the said property. Should Council***

decide not to accede to the above request, we ask that my client's lands and relative policies be referred to the Ontario Municipal Board.

My client's lands are outlined on the attached Schedule 'A'.

I plan to attend the public meeting on December 11th, 2013, to address this issue.

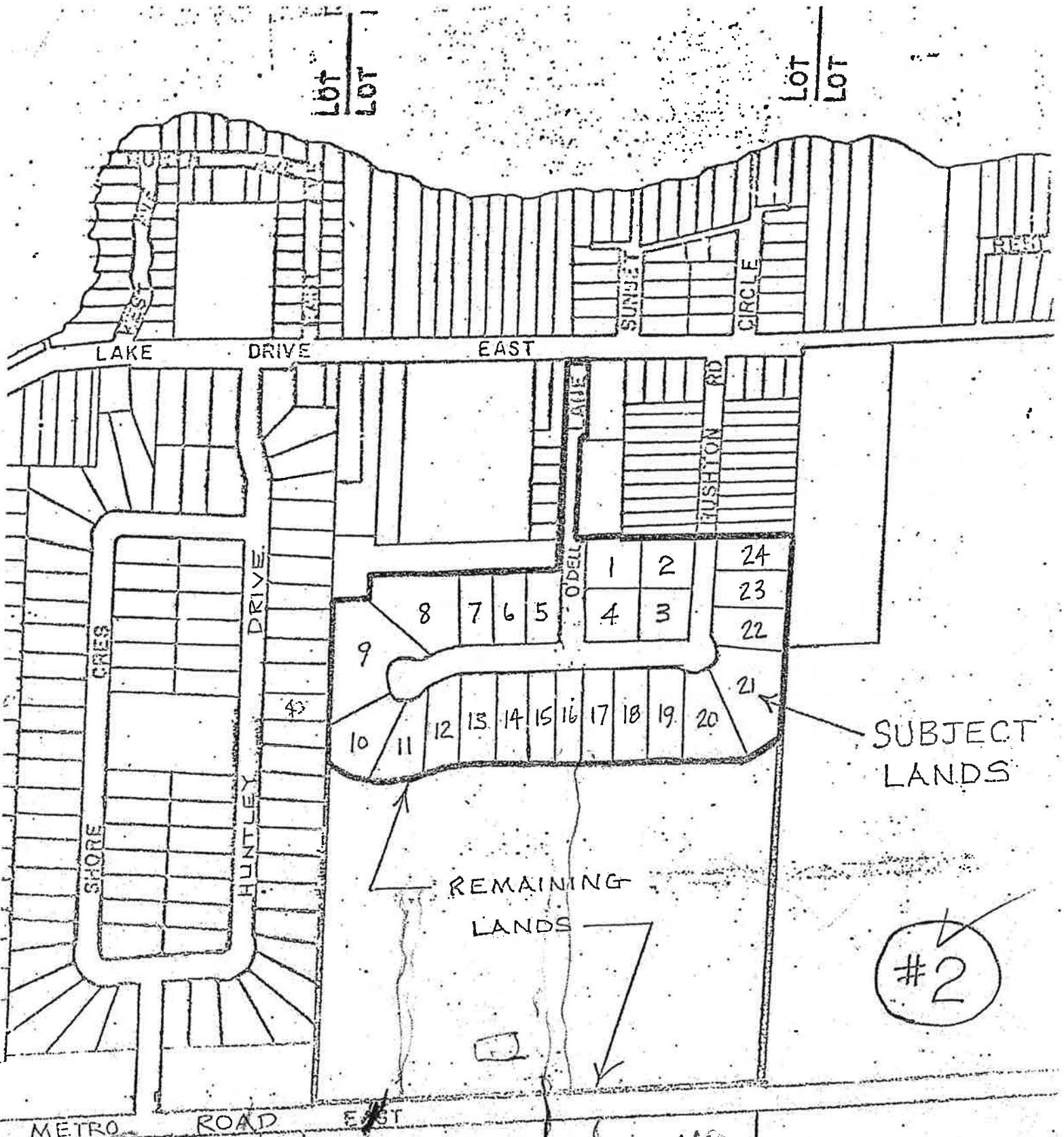
Yours very truly,



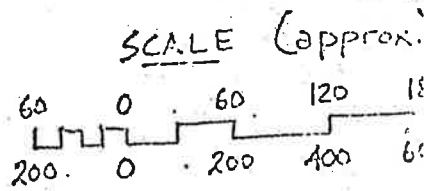
Grant Morris
Planning Consultant

Attachment

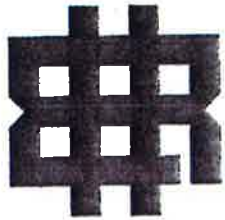
c.c. Politis Engineering Ltd. (Municipal Engineer)
Via email: tim.politis@sympatico.ca
Cunningham Environmental Associates (Environmental Consultants)
Via email: cea@cogeco.ca
Owner, Paul Amanatides



APPROVED
when modified
to 30,000 \$



SCHEDULE C



HBR PLANNING CENTRE

CONSULTANTS IN URBAN PLANNING AND DEVELOPMENT

66 Prospect Street, Unit A
Newmarket, Ontario L3Y 3S9

Telephone (905) 853-1841
Fax (905) 830-1451

December 10, 2013

Town of Georgina
26557 Civic Centre Road
Keswick, Ontario
L4P 3G1

VIA EMAIL AND MAIL

Attention: Yvonne Aubichon, Town Clerk

Dear Ms. Aubichon:

**RE: PUBLIC MEETING, DECEMBER 11, 2013
REGARDING TOWN OF GEORGINA OFFICIAL PLAN REVIEW
(PLANNING REPORT PB-2013-0118) AS IT AFFECTS
25 HIGH GWILLIM DRIVE
TOWN OF GEORGINA
(2204301 ONTARIO INC.)**

TOWN OF GEORGINA	
DEL 17 2013	
PLANNING & RESEARCH DEPARTMENT PLANNING DIVISION	
REFER	NOTED
<i>ce AF</i>	<i>thuc</i>
FILE #	

We are the Planning Consultants for 2204301 Ontario Inc., the Owners of Part of Lots 16 and 17, Concession 3, in the Town of Georgina. The property is municipally known as 25 High Gwillim Drive.

This letter is in regard to Planning Report PB-2013-0118 dealing with the Town of Georgina's Official Plan Review and the statutory meeting of Council under Section 26(3)(b) of the Planning Act. Our client owns approximately 118 acres, which has frontage on the north side of Old Homestead Road and the west side of The Queensway North (see Map 1 - Air Photo attached). While a portion of the subject lands are located within the Keswick Secondary Plan Area, there is also a portion of the subject lands which are located outside of the Keswick Secondary Plan Area, and are therefore subject to the Town's Official Plan Review.

Planning Report PB-2013-0118 mentions the preparation of base maps that are to be used for the Official Plan Schedules. We also understand that a series of maps are also being prepared displaying how the Provincial Policy Statement, the Greenbelt Plan, the Growth Plan and the Region of York Official Plan, will direct land use in the rural area of Town, and identify major policy priority areas. We understand that these maps and the draft Planning Policy review report are currently being considered by Town Staff and the Steering Committee, and have not yet been made available to the public. We would appreciate an opportunity to review these maps, on behalf of our client, when available. This will allow us to determine if there are any matters of interest that our client may have that may necessitate further discussion with Staff and/or the Town's Consultant.

In addition, we note that there is a section of Planning Report PB-2013-0118, entitled "Basis for Secondary Plans", which identifies the need to provide a policy foundation on which existing Secondary Plans are reviewed, or when new Secondary Plans are developed. The report references that the "Official Plan should include adequate guidance and direction on the matters to be addressed and the content to be contained within the Secondary Plans, ...". Since our client's lands fall both within and outside the Keswick Secondary Plan Area, our client has an interest in this matter, as it relates to current, interim and long term uses for his property. In this regard, we intend to monitor the relevant policies that are developed by the Town's Consultant.

Finally, our client has an interest in the Provincial Greenbelt policies as they affect infrastructure construction. Our client intends to monitor the incorporation of these policies into the Town's New Official Plan.

We thank you for the opportunity to comment on this matter as part of the Official Plan review process, and we will consult with your Staff and Consultant, as necessary, once the various drafts and reports are released to the public for consideration

Yours very truly,

HBR PLANNING CENTRE

ORIGINAL SIGNED BY
HOWARD FRIEDMAN

Howard Friedman, M.C.I.P., R.P.P.
Director of Planning

HF:SW/sw

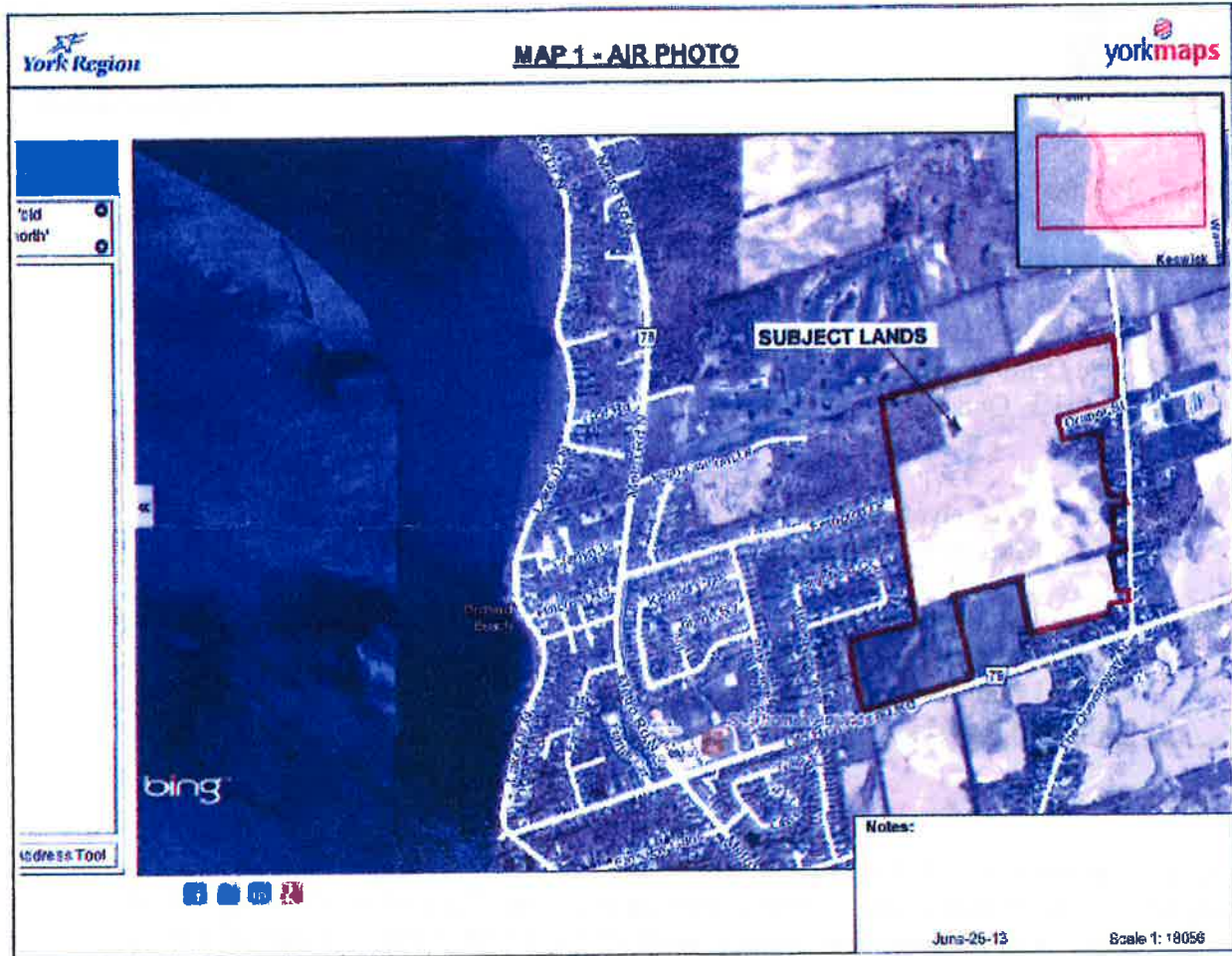
cc: Harold Lenters

cc: Velvet Ross

cc: Jim Dymont

cc: 2204301 Ontario Inc.

cc: Frank Gabourie, Royal LePage





64 Jardin Drive, Unit 1B
Concord, Ontario
L4K 3P3
T. 905.669.4055
F. 905.669.0097
klmplanning.com

File: P-2108

December 11, 2013

Town of Georgina
26557 Civic Centre Road
RR #2, Keswick, Ontario
L4P 3G1

**Attention: Ms. Velvet Ross, MCIP, RPP
Manager of Planning**

**Re: Maple Lake Estates Inc.
c/o Metrus Development Inc.
Official Plan Review
Town of Georgina**

Dear Ms. Ross:

As you are aware, KLM Planning Partners Inc. acts on behalf of Maple Lake Estates Inc. c/o Metrus Development Inc. related to their parcel of land located on the south side of Metro Road, west of Woodbine Avenue, north of Deer Park Drive and east of Varney Road.

We are pleased to be a part of the Official Plan review process and wish to provide our comments given the early stage of the process. As you know, Maple Lake Estates is a registered plan of subdivision which permits 1,073 units and which is designated as Towns and Villages in the Greenbelt Plan and likewise in the Region of York Official Plan.

Given the current land use designations and the legal status as a registered plan of subdivision, we would expect the existing development rights will continue to be recognized as part of this Official Plan review.

We look forward to being a part of the process and trust our comments above will be incorporated into any future drafts. Furthermore we wish to be notified of any decision made by Council regarding the above noted matter.

Yours very truly,

KLM PLANNING PARTNERS INC.

A handwritten signature in black ink, appearing to read 'K MacKinnon', is written over the company name.

Keith MacKinnon, BA, MCIP, RPP
Partner

cc. Mr. Warren Melbourne – Metrus Development
cc. Ms. Andrea Furniss – Town of Georgina

Re: Town of Georgina, Report # PB-2013-0118, for the Consideration of Council, Dec. 11/13

I, Margaret Downes, am the owner, with my husband, Bill Downes, of #79 Polva Promenade, in the hamlet of Udora.

I am speaking to the matter of the Official Plan Review Process, and would like to submit some comments and concerns regarding issues that we feel should be considered during this review.

We are relatively new to Udora, moving here in late Feb., 2012. Lake Simcoe Region Conservation Authority describes it as a "Hamlet of the Protected Countryside" and part of the Greenbelt Plan. The first thing we noticed was that the numbering of homes in our largely forested area made little sense with odd numbers being used on both sides of the street and most house numbers almost impossible to see. Several branches off Polva lead to dead ends. This could be a critical problem in an emergency. We were able to obtain green numbers thankfully with the help of the Planning Dept., though not everyone has seen fit to use them. Since Polva Promenade meanders through this area just North of Ravenshoe and West off Victoria Rd., many deliveries and visitors become quite turned around. Perhaps the study can direct some improvement here.

We wonder how long the Town is going to continue to condone the sale of such lands that have no frontage on a "real" street? Probably there are many such situations similar to Udora's. It is essential that the Town come up with a new arrangement to improve private lanes that have been abandoned by their original developers. Our subdivision's plan dates back to the '70s. We would like to at least be improved to the status of an "Unassumed road", similar to Kalevi or Estonian Rd.

On our particular branch of Polva, we call it the first "right fork" after you enter this, starts a section of Polva known as "Block F" of Plan 588. This is Town owned. However, some residents on it and using it have no encumbrance while others, such as us at #79 and Schiers at #83 are bound by a Grant of Easement. Since the Committee of Adjustment Hearing last week for an application by De Faria for new #85 there will soon be another. The Grant of Easement we have has changed hands several times since 2005, but is becoming increasingly onerous since it requires just a few property owners, not all, to "safe harmless, and indemnify the Town" as well as to "maintain, plough, and service the land." We feel that it is quite unrealistic and unfair to expect only 2-3 property owners can do this, especially when the users of this lane may soon have vehicles weighing more than 6000 lb.- eg. Well diggers, tree removers, cement trucks, and other construction equipment.

Block F is a 370' long dirt lane with no turn around. Dogs and nature enthusiasts routinely use the path which is barely 14'-16' wide in travelled portion, though the map claims a road allowance of 44'-45. The road allowance has many trees, hydro poles, overgrown hedges and hidden driveways. It is completely unsuitable for large vehicles. Presently even the propane delivery truck has to back out this lane.
(Photos)

There are many pot holes. Though gravel has been added in the past, especially in front of # 59, whose driveway is now opposite ours at #79, and they have no Easement, it does not solve the problem because there is water running underground and surface water is not properly channelled by existing watersheds and dysfunctional culverts. This, Lake Simcoe Region Conservation Authority has called an "erosion hazard (meanderbelt) associated with the Uxbridge Brook to the West". This Review will

need representation from LSRCA., newer maps from LSRCA and perhaps info from Hydro line clearing personnel to properly study this area and the need for a better road. (Photos and old maps available)

At the recent Minor Variance Hearing, Dec. 2/13, Application #38-13 (De Faria's) had a disappointing "no comment" from Fire and Emergency Services Department concerning adding another user to this Block F. We would respectfully suggest that perhaps a local fire truck should be driven in here and really check out the difficulty they might have in first, locating a property and second, manipulating their equipment to fight a fire. We hope there will not be such a test in a real emergency.

Lastly, what funds are available to improve situations such as Polva's? Does anyone know if the Town of Georgina applied for any of the recent provincial \$100 million funding monies that were to be made available on Oct. 1/13 by Premier K. Wynne "to address the road, bridge, and critical infrastructure needs of small rural and Northern municipalities"? This was announced in the May 9th edition of the Uxbridge Standard newspaper. We have asked this question of both Bob Fortier, Operations Dept. and Councillor B. Smockum but received no answer.

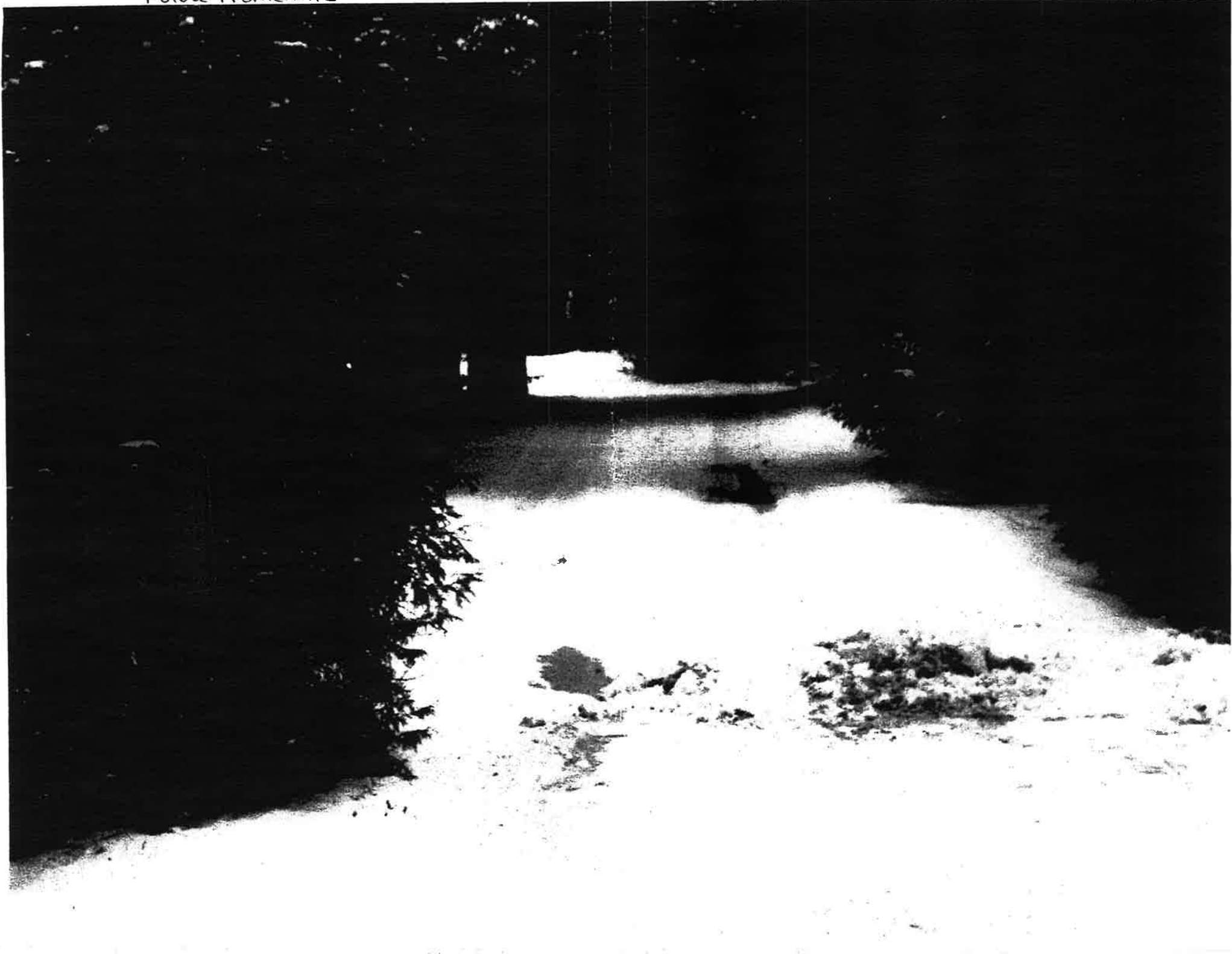
Thank you for your attention and consideration. We will look forward to the up-coming Public Meeting to be held in Udora.

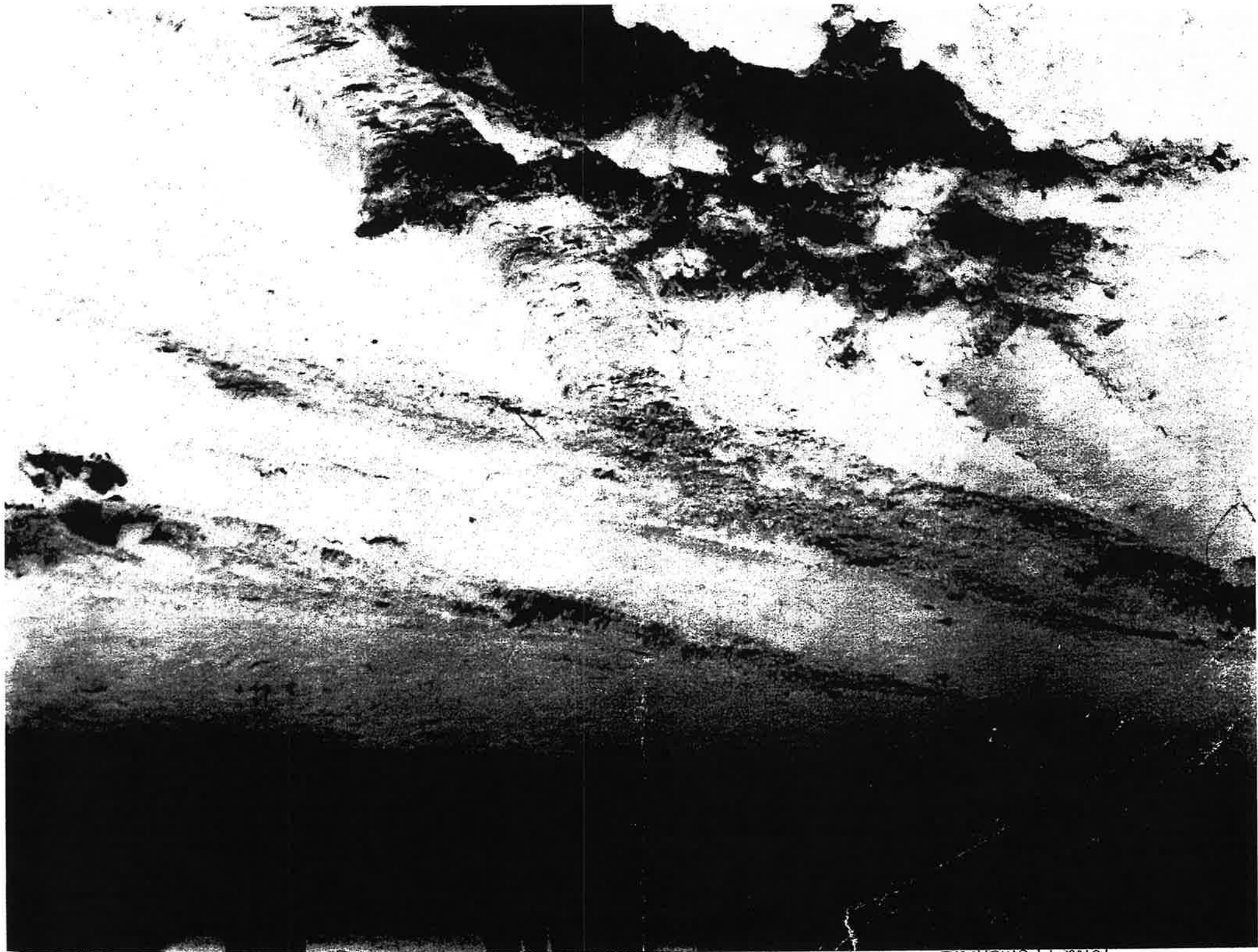
Margaret E. Downes
(705-228-1191)

Polva Promenade

ENTRY TO BLOCK 7

Exhibit A narrow path 1/4 W





JOVA PROMENADE

CONVEYANCE OF 11. ENIGMA

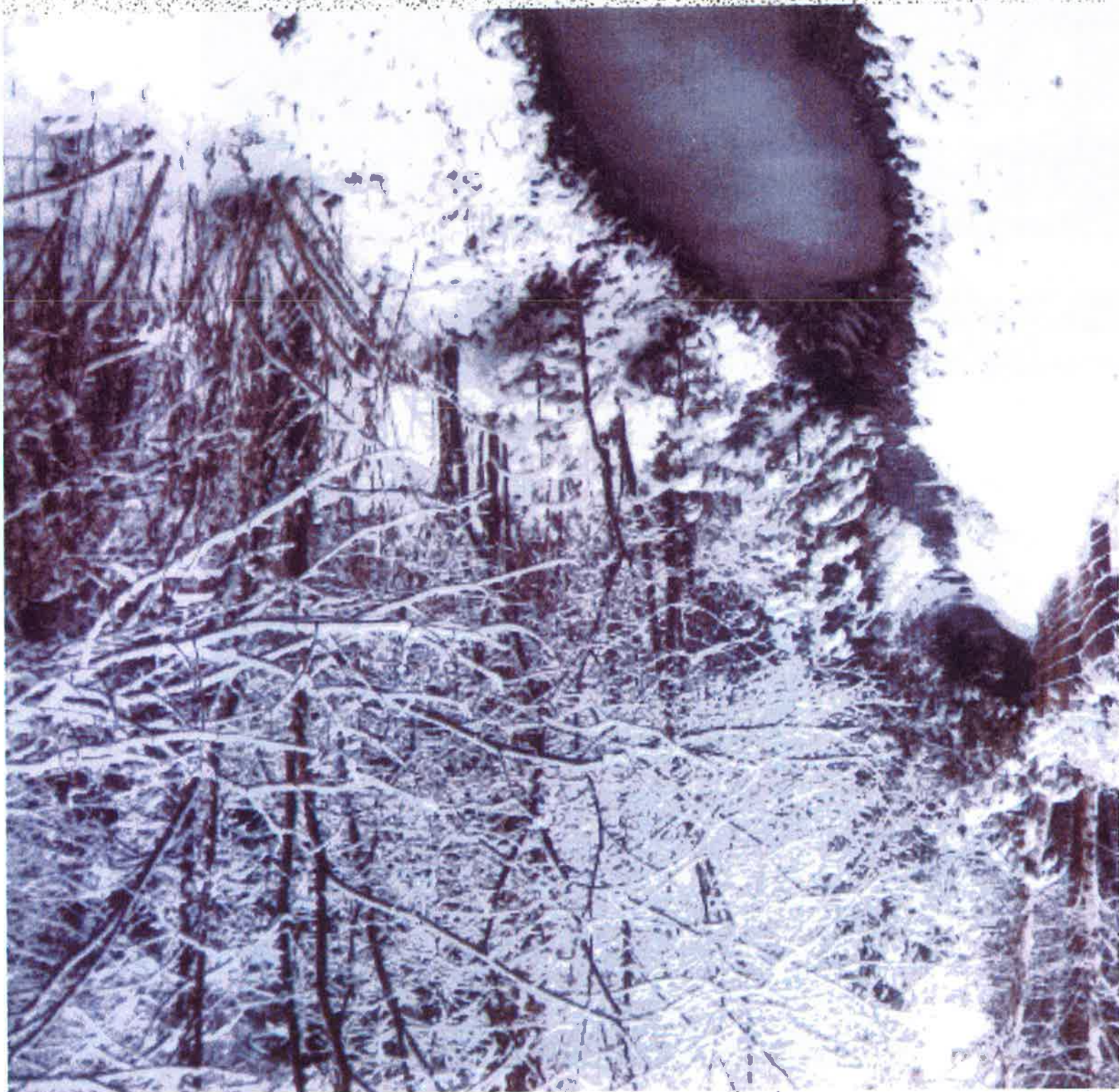


(W)

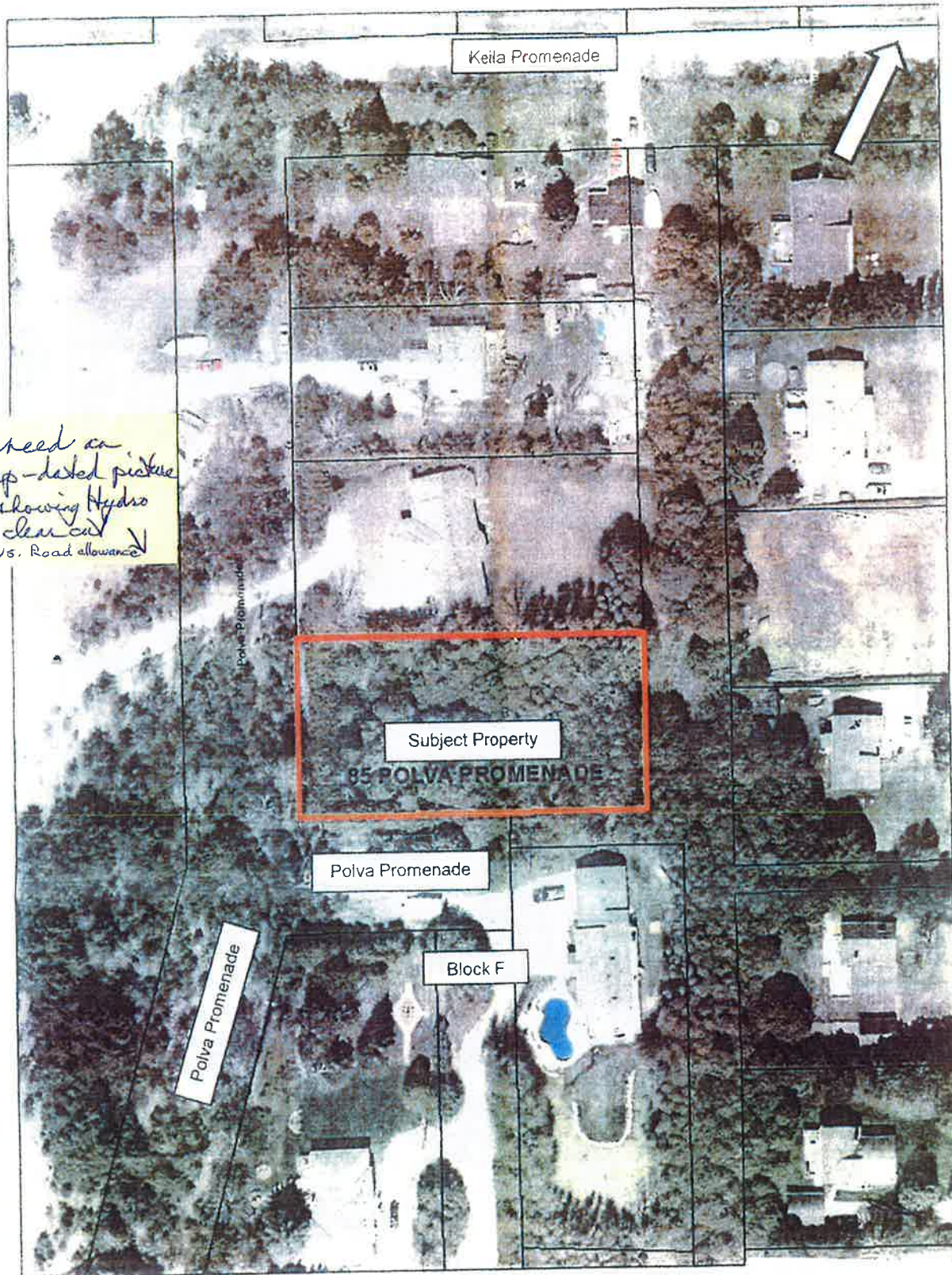
new #85 ↑

(E)

(S)







need an
up-dated picture
showing Hydro
clear cut
vs. Road allowance

SCHEDULE 1



Lake Simcoe
Region
Conservation
Authority

Polva Promenade, Georgina



Features

- Assessment Parcel
- Watercourse
- LSRCA Boundary
- Lake Simcoe
- Lake Couchiching
- Local Road
- York-Durham
- Red: Band_1
- Green: Band_2
- Blue: Band_3
- Simcoe
- Red: Band_1
- Green: Band_2
- Blue: Band_3

watershed

This map does not
show Hydro clearing
either.
It must have been
recopied from an old
map.

Printed On:
11/12/2013

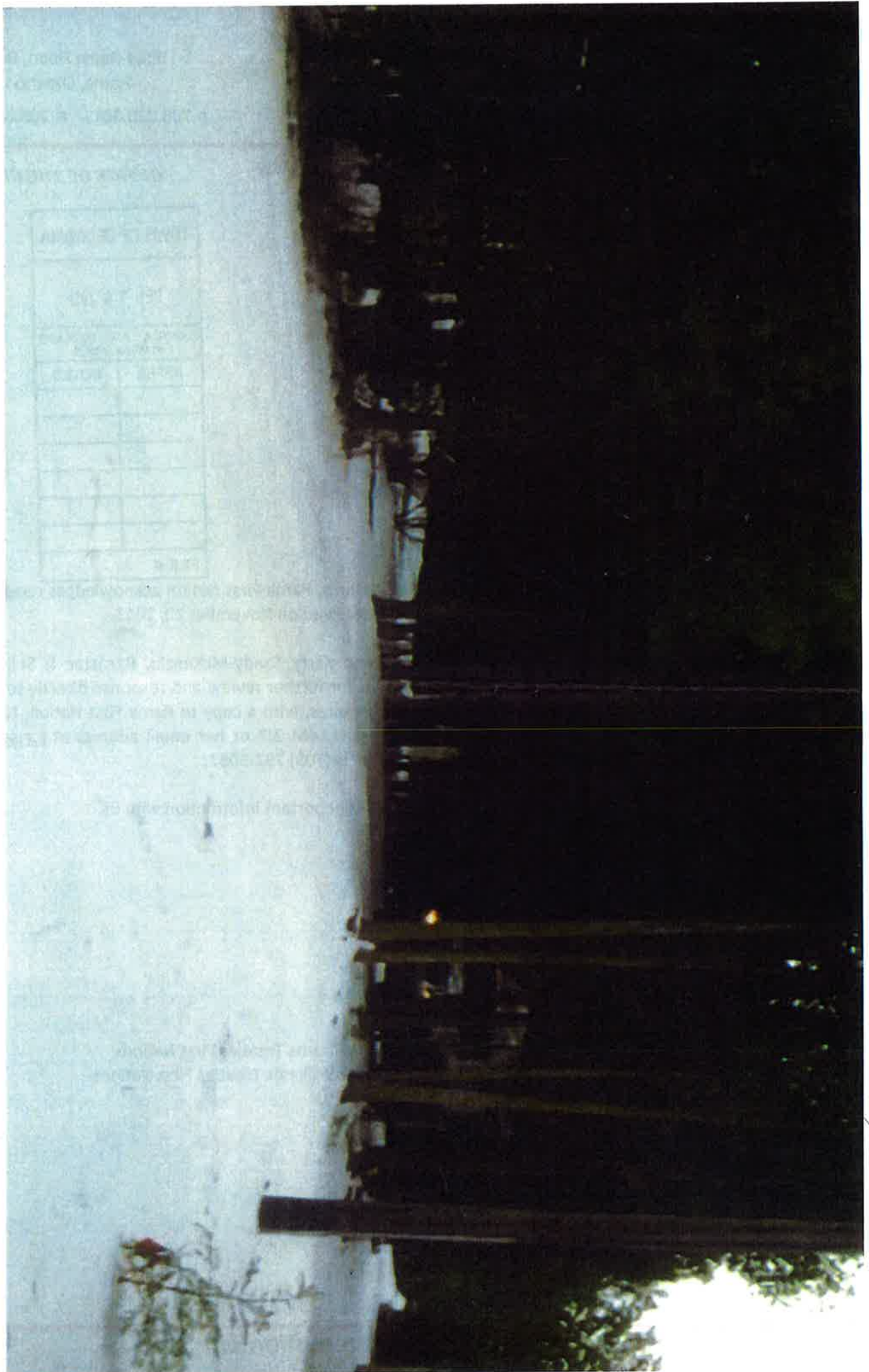


Mapped By: JH

This product was produced by the Lake Simcoe Region Conservation Authority and some information depicted on this map may have been compiled from various sources. While every effort has been made to accurately depict the information, databasing errors may exist. This map has been produced for illustrative purposes only. LSRCA GIS Services DRAFT printed 2012. © LAKE SIMCOE REGION CONSERVATION AUTHORITY, 2012. All Rights Reserved. The following data sets of Assessment Parcel, Roads, Upper & Lower Tier Municipalities are © Queens Printer for Ontario, 2012. Reproduced with Permission. The Current Regulation Limit and Boundary data sets are derived products from several datasets, one being MNR Evaluated Wetlands © Queens Printer for Ontario, 2012. Reproduced with Permission. Orthophotography 2002, 2007, 2006, 2009. © J.D. Barnes Limited.

Scale 1: 5,292







**Chippewas of RAMA
First Nation**

A Proud Progressive First Nation Community

5884 Rama Road, Suite 200

Rama, Ontario L3V 6H6

T 705.325.3611 F 705.325.0879

OFFICE OF THE CHIEF

December 12, 2013

Town of Georgina
26557 Civic Centre Road
Keswick, ON L4P 3G1

Attention: Andrea Furniss, Senior Planner - Policy

Re: Town of Georgina Official Plan Review

Dear Ms. Furniss:

TOWN OF GEORGINA	
DEC 18 2013	
PLANNING & BUILDING DEPARTMENT PLANNING DIVISION	
REFER	NOTED
FILE #	

As a member of the Williams Treaties First Nations, Rama First Nation acknowledges receipt of your letter of November 19, 2013, which was received on November 22, 2013.

A copy of your letter has been forwarded to Karry Sandy-McKenzie, Barrister & Solicitor, Coordinator for Williams Treaties First Nations for further review and response directly to you. Please direct all future correspondence and inquiries, with a copy to Rama First Nation, to Ms. Sandy-McKenzie at 8 Creswick Court, Barrie, ON L4M 2J7 or her email address at k.a.sandy-mckenzie@rogers.com. Her telephone number is (705) 792-5087.

We appreciate your taking the time to share this important information with us.

Sincerely,

Chief Sharon Stinson Henry

c: Council, Rama First Nation
Jeff Hewitt, General Counsel
Karry Sandy-McKenzie, Coordinator for Williams Treaties First Nations
Chief Roland Monague, Portfolio Chief for Williams Treaties First Nations

Anthony Usher Planning Consultant

146 Laird Drive, Suite 105, Toronto, Ontario M4G 3V7

(416) 425-5964

auplan@bellnet.ca

December 20, 2013

Mr. Jim Dymont
MHBC Planning
113 Collier Street
Barrie, Ontario
L4M 1H2

and

Ms. Andrea Furniss
Town of Georgina
Keswick, Ontario
L4P 3G1

Dear Mr. Dymont and Ms. Furniss:

Re: Official Plan Review - North Gwillimbury Forest

Now that I've attended the November 14 workshop and December 11 public meeting, and reviewed more materials on the Official Plan review process, I would like to raise some additional issues and questions on behalf of my client, the North Gwillimbury Forest Alliance (NGFA), which I hope you will respond to in the upcoming policy development phase of the review.

My November 8, 2013 letter focused on protecting wetlands and significant woodlands in the North Gwillimbury Forest and throughout the Town. This letter will address two other, related issues.

Maple Lake Estates

As the Town knows, since 2011 NGFA has been seeking constructive solutions that would terminate the existing development approvals for the Maple Lake Estates property. As described in a staff report of June 19, 2013, the ultimate owner, Metrus Developments Inc., has indicated it is willing to explore one option, whereby the existing approvals would be replaced by equivalent approvals on lands that Metrus owns between Deer Park Drive, Woodbine Avenue, Boyer's Sideroad, and Varney Road (see map attached to staff report).

NGFA is prepared to discuss any option that will ensure that neither the Maple Lake Estates property nor other wetlands or significant woodlands are developed. However, as NGFA said in a media release on June 21, 2013, reiterated by Jack Gibbons in a deputation to Council on June 24:

"there must be full community input into the location and design of Metrus' proposed [alternative] new residential development to ensure that it will be a high-quality, liveable urban community that is appropriately integrated into its surroundings."

In my view, this should include consideration of alternative locations. The lands identified by Metrus may not be the best feasible alternative. Other possible alternatives - without making any judgement as to their feasibility at this time - would include a location abutting Keswick (which the Metrus alternative lands do not), or a location within Keswick.

While in theory, consideration of alternatives could be extended to other locations inside Georgina but away from Keswick, or outside Georgina, such alternatives present sufficient problems that they should probably only be considered as a last resort. The existing Maple Lake Estates approvals are already factored into the capacity of the Keswick sewage system and the Region's population allocations for Georgina. As well, both the York Region and Georgina Official Plans make clear that Keswick is to continue to be the Town's principal growth centre.

As a result, the Official Plan review area includes:

- Maple Lake Estates, whose development approvals would hopefully be terminated,
- all the priority candidates for hosting equivalent approvals, except for lands in Keswick.

Therefore, both the exchange itself, and the alternative development locations, are relevant to the review.

Policy 1.1.3.9 of the Provincial Policy Statement says:

"A planning authority may identify a settlement area or allow the expansion of a settlement area boundary only at the time of a comprehensive review and only where it has been demonstrated that:

- "a) sufficient opportunities for growth are not available through intensification, redevelopment and designated growth areas to accommodate the projected needs over the identified planning horizon;
- "b) the infrastructure and public service facilities which are planned or available are suitable for the development over the long term and protect public health and safety;
- "c) in prime agricultural areas:
 - 1. the lands do not comprise specialty crop areas;
 - 2. there are no reasonable alternatives which avoid prime agricultural areas; and
 - 3. there are no reasonable alternatives on lower priority agricultural lands in prime agricultural areas; and
- "d) impacts from new or expanding settlement areas on agricultural operations which are adjacent or close to the settlement area are mitigated to the extent feasible.

"In determining the most appropriate direction for expansions to the boundaries of settlement areas or the identification of a settlement area by a planning authority, a planning authority shall apply the policies of [Provincial Policy Statement] Section 2: Wise Use and Management of Resources [dealing with natural heritage, water, agriculture, etc.] and Section 3: Protecting Public Health and Safety [dealing with natural and human-made hazards]."

The proposed exchange would constitute identification of a new, or expansion of an existing, settlement area, unless the alternative lands are in Keswick. The Official Plan review meets the definition of a comprehensive review, and provides an excellent opportunity for conducting the

process.

In my opinion, Policy 1.1.3.9 requires that the alternative development locations be examined against these criteria, and that the ultimately-preferred location be shown to meet those criteria at least as effectively as any other option. Similarly, the criteria in Policy 2.2.8 of the Greater Golden Horseshoe Growth Plan, and Policy 5.1.12 of the York Region Official Plan, need to be considered.

These criteria suggest that all other things being equal, and again without judging feasibility at this time, the most attractive exchange option would be for equivalent approvals on lands within Keswick, as this would promote intensification and avoid any expansion of the existing urban designation into the Greenbelt. A less attractive option would be lands abutting Keswick, which would at least avoid leapfrog development. The least attractive option would be for lands not abutting Keswick.

I recognize, of course, that any exchange would also involve a variety of other considerations deriving from the Provincial Policy Statement, the Growth Plan, and the Regional Plan, as well as the Greenbelt Plan. However, given the willingness of the various agencies (as indicated in the staff report) to enter into discussions about an exchange, this should not keep the Town from considering it as part of the Official Plan review.

In any case, I note that Maple Lake Estates has been identified as a growth and settlement issue, most recently at the December 11, 2013 public meeting, and that the prospective exchange is briefly described in the minutes of the Official Plan review Technical Advisory Committee meeting of July 17, 2013.

Questions:

1. How do the Town and MHBC propose to address the prospective Maple Lake Estates exchange within the Official Plan review?
2. What steps will you take to ensure that within the review, the consideration of alternative locations is not limited to the lands identified by Metrus, and also includes other options in or abutting Keswick?

Population Allocations Within Georgina

The Town is obliged to accommodate the population targets allocated to it by the Region, as presented at the November 14 workshop.

As you are well aware, the parent Official Plan, which is the subject of this review, includes outdated targets for the Town as a whole and does not include any allocation among population centres.

The secondary plans provide population projections, but all for different dates: Keswick, 38,700 in 2021; Sutton/Jackson's Point, 15,150 in 2031; and Pefferlaw, 3,000 in 2011. There is an assumed population of 2,200 for Maple Lake Estates specified in the Official Plan.

So far as I am aware, there are no population targets or allocations for:

- the Serviced Lakeshore Residential Area designation,

- the six designated hamlets, or
- the rural and unserviced-lakeshore-residential remainder of the Town.

The population projections for the secondary plan areas suggest there could be challenges accommodating the Regional population allocation, by the end of the projection period in 2031. So do the ultimate capacities of the sewage systems (49,000 for Keswick, Maple Lake Estates, and the Serviced Lakeshore Residential Area designation, according to York Region; 13,500 for the serviced portion of Sutton/Jackson's Point according to that area's secondary plan).

In addition to being of assistance to the public generally, information on the current and projected populations of each population centre or area, and whether/how the Regional projections can be accommodated, is of particular interest to NGFA for two reasons:

- ensuring that growth can be accommodated without adversely affecting the Town's wetlands and significant woodlands,
- its obvious relevance to any discussion of the prospective Maple Lake Estates exchange.

In my view, this information should be provided early on, so the public can consider it during the policy development stage - not just as an accomplished fact within the draft new Official Plan.

Question:

3. Within the Official Plan review, when and how do the Town and MHBC propose to inform the public about the current populations of, and updated population allocations among, the various population centres and areas?

* * *

Thank you for your consideration of these points. Please let me know if you need any further information or clarification.

Yours sincerely,

[original signed by]

Anthony Usher, MCIP, RPP



ALDERVILLE FIRST NATION
11696 Second Line
P.O. Box 46
Roseneath, Ontario K0K 2X0
Phone: (905) 352-2011
Fax: (905) 352-3242

Chief: James R. Marsden
Councillor: Julie Bothwell
Councillor: Jody Holmes
Councillor: Dave Mowat
Councillor: Angela Smoke

January 21, 2014

Town of Georgina

Att: Andrea Furniss, Senior Planner

**Re: Official Plan Review
Hamlets of Ravenshoe, Udora and Brownhill**

Dear Andrea Furniss,

Thank you for your consultation request to Alderville First Nation regarding the Official Plan Review which is being proposed within our Traditional and Treaty Territory. We appreciate the fact that the Town of Georgina recognizes the importance of First Nations Consultation and that your office is conforming to the requirements within the Duty to Consult Process.

As per the Alderville First Nation Consultation Protocol, your proposed project is deemed a level 3, having minimal potential to impact our First Nations' rights, therefore, please keep Alderville apprised of any changes to your project. I can be contacted at the mailing address above or electronically via email, at the email address below.

In good faith and respect,

Dave Simpson
Lands and Resources
Communications Officer
Alderville First Nation

dsimpson@aldervillefirstnation.ca

Tele: (905) 352-2662
Fax: (905) 352-3242

Jan.-23-14

We are submitting this letter to Georgina Official Planners
Attention Project manager Jim Dymont, Velvet Ross and Andrea Furniss

First I would like to Thank-you for seeking input from the residents connected with the small Hamlets of Georgina. We attended the Open House held on Jan- 22 -14 in Udora, It was a very well-run and informative meeting, expressing the need for future development within the township. Good discussions were held by all.

Ken and I were part of the Hamlet of Ravenshoe, as you review the feedback from the residents represented you will see the agreement of expansion of the boundaries, keeping lot division within the pre-existing lot size. With this in mind Ken and I are asking you to consider expanding the most eastern boundary of the Hamlet of Ravenshoe which is our existing lot line, to Kenndy Rd. this will take your consideration of removing (part of lot 1con5) Georgina from the existing greenbelt. Realizing this will take time and consideration on the part of this committee. We also know that now is the time for us to consider such a change as we have thought about this long and hard we do know change is inevitable. We ask of this with the knowledge that such a small parcel of farm land can no longer function as an independent income producing Family Farm. Trusting you will consider our situation as we have considered yours.

Yours Truly Ken and Joan Rogers
Long-time Georgina resident – (62yrs)

Keneth A Rogers
Joan Rogers

TOWN OF GEORGINA	
JAN 24 2014	
PLANNING DEPARTMENT	
REFE	NOTED
FILE #	

TOWN OF GEORGINA	
JAN 24 2014	
PLANNING DEPARTMENT	
REFE	NOTED
FILE #	

Andrea Furniss

From: Stefano Giannini <sgiannini@jrstudio.ca>
Sent: February-11-14 9:47 AM
To: Andrea Furniss
Cc: jdymment@mhbcplan.com
Subject: FW: 5692 Smith Blvd & Proposed Baldwin Rounding
Attachments: 48+ Smith blvd proposed hamlet rounding diagram.pdf; site info - pin survey.pdf

TO: ANDREA FURNISS, Planning and Building Department | Town of Georgina

CC: JIM DYMENT, MHBC Planning, Urban Design & Landscape Architecture

RE: 5692 Smith Blvd & Proposed Baldwin Rounding

Further to our recent discussions and on behalf of the property Owner, please accept the following email correspondence as written submission for consideration of the property located at **5692 Smith Blvd** to be included as a prime candidate for the potential and proposed Baldwin rounding in the upcoming Official Plan update.

Although this subject property is a large parcel adjacent to the exiting Hamlet, it is clearly evident upon review of the current Schedule H - Baldwin Area map, that the southern portion of this subject property [*the intersection of Smith Blvd and Hwy 48*] is a logical location for the minor rounding boundary expansion.

We have attended the Council meeting and participated in the two public workshops held on November 14th 2013 and January 27th 2014 respectively, and the property Owner is positively looking forward to the proposed updates to the Official Plan and the recommended guiding principles for growth and sustainable management strategies, as well as the overall framework for land use in the area.

In principle, the nature of our proposal is still undetermined, however, a preliminary map showing the lands and some justification for including the lands in the Baldwin Hamlet designation is attached to correspondence.

Should a favorable assessment and expansion of the subject land be included in the Baldwin expansion, we are confident that the Owners' intent for development would be a collaborative undertaking with the Town of Georgina to assist in achieving the various forecasted growth projections, respecting the character of the Hamlet as well as the long range planning for development in the area.

We note, that once included in the Baldwin Hamlet, any future development on this site must meet the tests listed under Sec. 3.4.3(2) of the Hamlet Policies in the Greenbelt Plan.

Once again thank you for your consideration of this property in your technical assessments and preparation of Draft Official Plan Amendment.

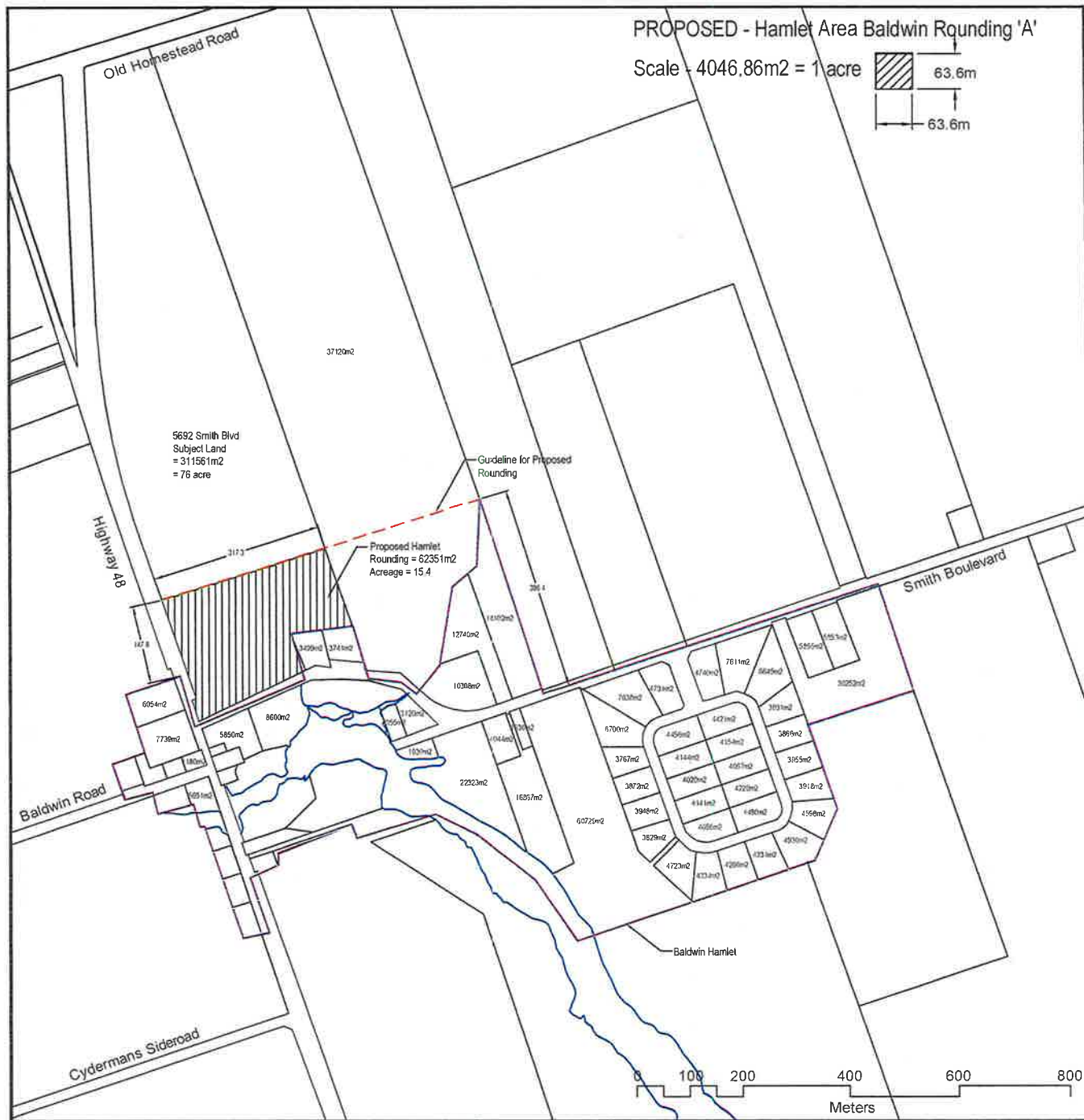
We look forward to the next Council and Public Meetings, should there be any questions on our request, please feel free to reply.

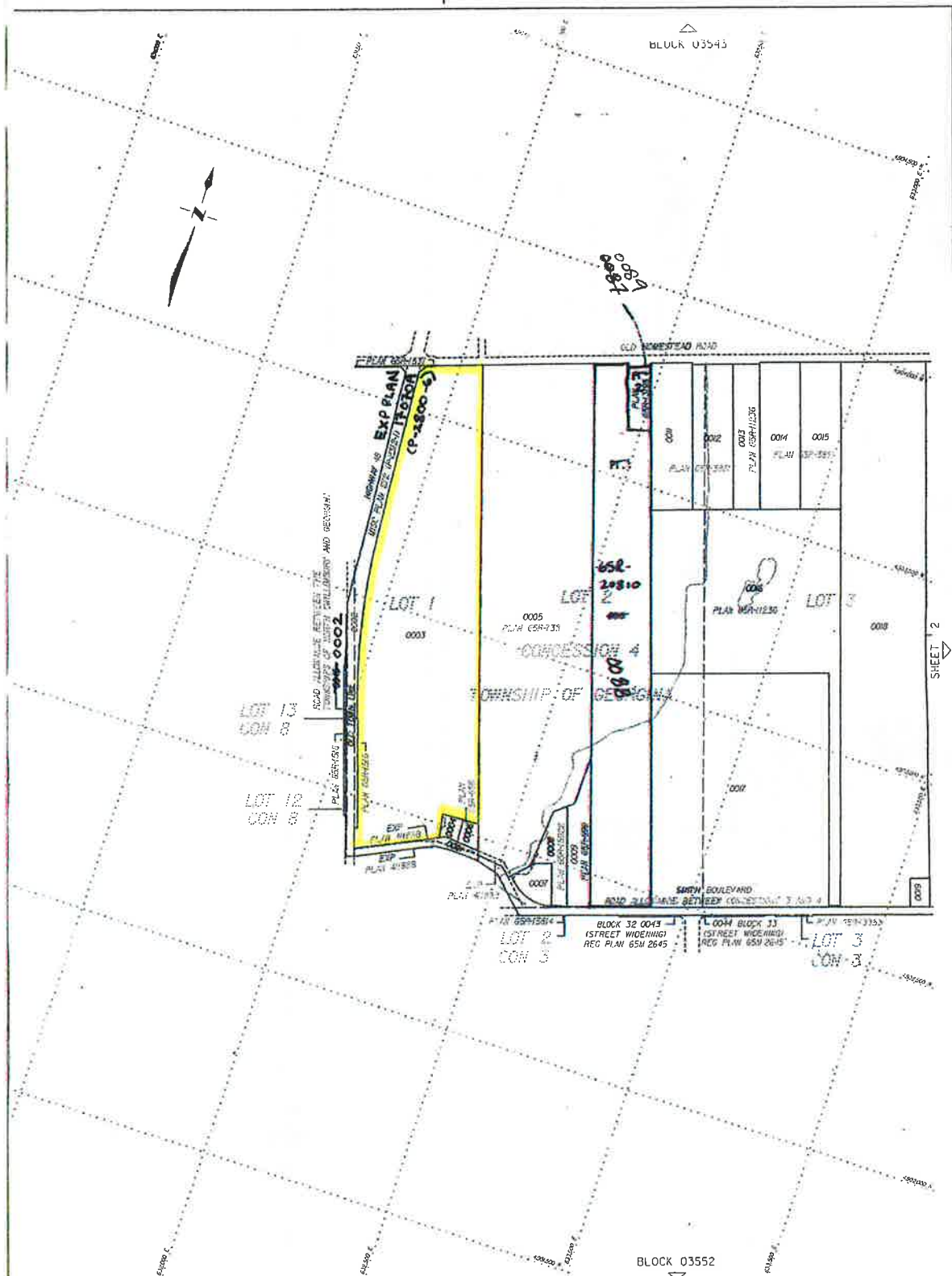
Regards,

Stefano Giannini OALA, CSLA
Senior Project Manager

Janet Rosenberg & Studio
Landscape Architecture and Urban Design
148 Kenwood Avenue Toronto ON M6C2S3
416 656 6665 x 62 www.jrstudio.ca
sgiannini@jrstudio.ca

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BLOCK 03544 - SHEET 1 OF 2

MINISTRY OF
CONSUMER AND
COMMERCIAL
RELATIONS

MAP SHOWS ALL
EXISTING IN
44 - SHEET 1
JER 1, 1997

SCALE



PROPERTY INDEX MAP
BLOCK 03544
TOWN OF GEORGINA
REG. MUNICIPALITY OF
YORK
(OFFICE 65)

LEGEND

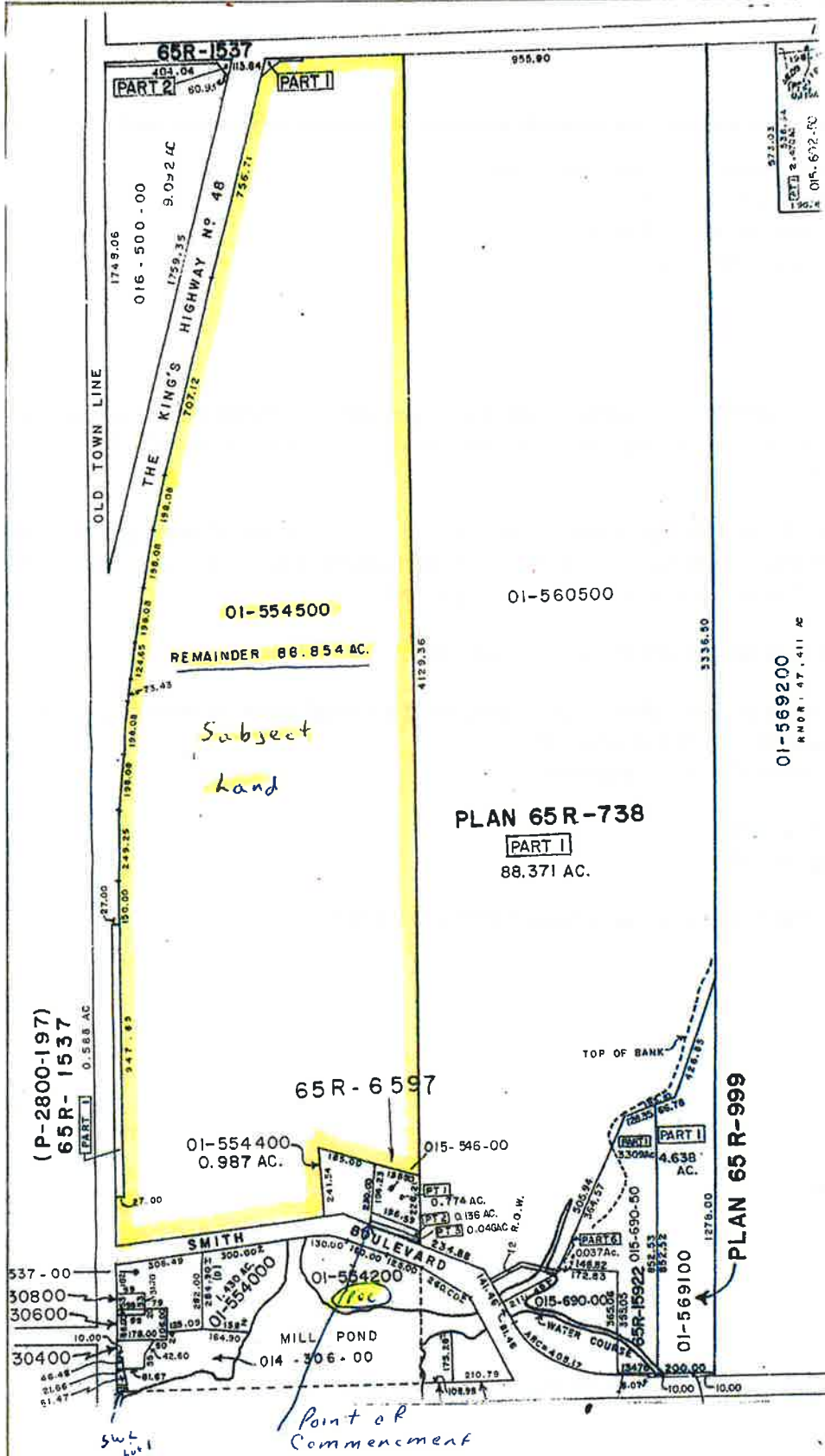
FREEDHOLD PROPERTY BOUNDARY	---
LEASEHOLD PROPERTY BOUNDARY	---
NATURAL RESOURCE PROPERTY BOUNDARY	---
FREEDHOLD PROPERTY NUMBER	047
LEASEHOLD PROPERTY NUMBER	1-17
NATURAL RESOURCE PROPERTY NUMBER	01-17
TOWNSHIP FABRIC	---
STREETS, EASEMENTS	---
UNDEVELOPED FABRIC, EASEMENTS	---
UTM GRID	---
ADOPTING MAP NUMBER	---
THE QUOTE IDENTIFIER FOR ANY PROPERTY (E.G. 0008 - 047) IS COMPOSED OF THE MAP BLOCK NUMBER (0008) AND THE FOUR DIGIT NUMBER (047) WHICH APPEARS ON EACH ACTIVATED PROPERTY	

NOTES

NORTH AMERICAN DATUM 1983
UNIVERSAL TRANSVERSE MERCATOR PROJECTION
ZONE 18 CENTRAL MERIDIAN 84W
THIS IS NOT A PLAN
OF SURVEY
THIS MAP WAS COMPILED FROM PLANS AND
DOCUMENTS RECORDED IN THE LAND REGISTRY
SYSTEM AND HAS BEEN PREPARED FOR PROPERTY
HOLDING PURPOSES ONLY
FOR DIMENSIONS OF PROPERTY BOUNDARIES
SEE RECORDED PLANS AND DOCUMENTS
ONLY - MAJOR EASEMENTS
ARE SHOWN
REFERENCE PLANS IDENTIFYING MORE RECENT
REFERENCE PLANS ARE NOT ILLUSTRATED



5000



Andrea Furniss

From: Anthony Usher <auplan@bellnet.ca>
Sent: February-24-14 3:03 PM
To: Jim Dymont; Andrea Furniss
Subject: Georgina OP Review

Hello,

As you know, I submitted a letter Dec 20/13 asking some questions re population allocations. I had assumed that some response to these questions would be forthcoming in your next scheduled reports, which I understand are still some distance away.

I glanced at the posted presentations for the hamlet open houses, which I had understood were just to focus on hamlet boundaries. I was somewhat surprised to find in those presentations, population breakdowns that had not been previously presented. Those do respond in part to my questions.

However, I have some further questions arising out of that information:

- Since the last row (rural, hamlet, shoreline, Maple Lake Estates) is a mix of serviced and unserviced development, could you provide a breakdown of this line into:
 - Serviced Lakeshore Residential Area designation
 - Maple Lake Estates
(the above two serviced from Keswick)
 - unserviced (hamlets and rural)?
- Can you explain the sudden jump in the last row between 2026 and 2031?

Thank you,

- Tony Usher

Anthony Usher, MCIP, RPP
Anthony Usher Planning Consultant
146 Laird Drive, suite 105
Toronto, Ontario M4G 3V7
(416) 425-5964
auplan@bellnet.ca

Practical professional services in land, resource, recreational, and tourism planning

Andrea Furniss

From: Gwendolyn Ward <gward@litigate.com>
Sent: March-10-14 3:17 PM
To: Andrea Furniss
Subject: RE: Public Workshop #2 - Official Plan Review

Hi Andrea,

Thanks for the below. I have a particular interest in preserving the night sky that we enjoy in Georgina. It is quite rare so close to the GTA.

There is an organization called Dark Skies (see the link below) which I would like to advocate that Georgina both becomes a member of and ensure that our planning policies incorporate the kinds of lighting that are recommended to reduce/eliminate unnecessary lighting and more and more development comes into our region.

<http://darksky.org/about-us>

If you click on the tab for Outdoor Lighting there is a lot of good information there as well as resources and reports.

Not sure how this fits into the review session you have planned for the 24th so I thought I would raise it in advance.

Kind regards, Gwendolyn

From: Andrea Furniss [<mailto:afurniss@georgina.ca>]
Sent: Wednesday, March 05, 2014 10:54 AM
To: Andrea Furniss
Subject: Public Workshop #2 - Official Plan Review

Good morning,

I would like to inform you that there will be a 2nd Public Workshop pertaining to the Official Plan Review on Monday, March 24th. The purpose of this Workshop is to help identify the planning policy directions that need to be considered for inclusion in the Official Plan.

Please see the attached public notice for further details.

Regards,

Andrea Furniss, M.Pl., MCIP, RPP
Senior Planner - Policy
Planning and Building Department | Town of Georgina
T: 905-476-4301 Ext. 2253
905-722-6516
705-437-2210
E: afurniss@georgina.ca

146 Laird Drive, Suite 105, Toronto, Ontario M4G 3V7

(416) 425-5964

auplan@bellnet.ca

March 20, 2014

Mr. Jim Dymont
MHBC Planning
113 Collier Street
Barrie, Ontario
L4M 1H2

and

Ms. Andrea Furniss
Town of Georgina
Keswick, Ontario
L4P 3G1

Dear Mr. Dymont and Ms. Furniss:

Re: Official Plan Review - Maple Lake Estates

As you know, my December 20, 2013 letter on behalf of my client, the North Gwillimbury Forest Alliance (NGFA), addressed among other things the issue of a prospective Maple Lake Estates development approvals exchange within the context of the Official Plan review.

I concluded in that letter that:

"[Criteria quoted from the provincial and regional policy documents referenced] suggest that all other things being equal, and again without judging feasibility at this time, the most attractive exchange option would be for equivalent approvals on lands within Keswick, as this would promote intensification and avoid any expansion of the existing urban designation into the Greenbelt. A less attractive option would be lands abutting Keswick, which would at least avoid leapfrog development. The least attractive option would be for lands not abutting Keswick."

Since then, I have further researched and considered these options, and wish to offer the following.

What are "equivalent approvals"?

This concept, to the best of my knowledge, first appears in the Town's staff report to the June 24, 2013 Council meeting, describing the exchange proposed by Metrus Developments Inc. The question remains, equivalent to what?

TOWN OF GEORGINA	
MAR 20 2014	
PLANNING & BUILDING DEPARTMENT PLANNING DIVISION	
REFER	NOTED
	AF-P
FILE # 02-180	

Area

The current Maple Lake Estates property is 200 ha. There appears to be general agreement that an equivalent area is not required, especially as Metrus no longer wishes to develop a golf course. The Maple Lake Estates Inc. lands between Deer Park Drive and Boyer's Sideroad that Metrus has proposed as an alternative location total 108 ha, and include some undevelopable provincially significant wetland and significant woodland.

As discussed below, much less area should be needed for an alternative greenfield location.

Number of dwellings

The existing planning approvals are for 1,073 dwellings. However, these are described in the approvals as small, two-person dwellings. Metrus has expressed interest in larger dwellings, whether on the currently approved site or in an alternative location. So, the number of dwellings should not be determinant.

Number of people

The existing approvals intend a population of 2,200, based on approximately two persons per dwelling (Official Plan section 3.20.2.11). Keswick sewage capacity has been reserved for two persons per dwelling (2,146 persons-equivalent).

Economic value

There is an excellent case to be made that "equivalent" should mean "as profitable as", and there is a good probability that a well-planned, freehold subdivision of considerably fewer homes and considerably smaller area would be at least as profitable to Metrus as would the currently approved Maple Lake Estates.

Conclusion

Since information on the economic value equivalent to Maple Lake Estates is not currently available, for purposes of this analysis I will consider whether 2,146 persons-equivalent can be relocated to the alternative exchange options described in my December 20, 2013 letter.

How much land does 2,146 persons-equivalent require?

The Greater Golden Horseshoe Growth Plan (section 2.2.7.2) says the minimum density target for greenfield development shall be "not less than 50 residents and jobs combined per hectare". The York Region Official Plan (section 5.2.14) uses similar wording. Both plans exclude from this calculation environmental/natural heritage lands, using slightly different wording.

Therefore, a greenfield residential development for 2,146 persons should require not more than 43 ha.

Where could such development be located?

I looked further into the options that would be more attractive than Metrus's currently proposed alternative, as described in my December 20, 2013 letter.

Regarding sites outside Keswick but abutting its boundary:

- ▶ Such a site should not abut the Business Park Secondary Plan area, or intrude onto lands designated Environmental Protection or Agricultural Protection.
- ▶ That leaves only one site that is large enough to accommodate a 43 ha development - and much of it is occupied by the Orchard Beach Golf and Country Club, a valued community recreational facility.

Therefore, I concluded that any feasible, more attractive options would be within Keswick proper.

Schedule F1 of the Keswick Secondary Plan shows four development area overlays that represent the major undeveloped areas within Keswick when the Secondary Plan was adopted in 2004.

Area 1 (Queensway West) is too small.

Area 2 (Queensway East) has enough land available, but:

- none is owned by Metrus or affiliates, so exchanges with other developers would be required,
- much of the available land is subject to a current subdivision approval process.

Area 3 (Glenwoods) has now been sufficiently developed that there is not enough land available net of Greenlands System designations.

That leaves Area 4 (South Keswick). This is much the largest development area, most of it remains undeveloped, and the majority of it is owned by Metrus affiliates. The remainder of this letter will demonstrate that this is the most attractive option.

Keswick Secondary Plan policies

The Secondary Plan, adopted in 2004 and subsequently approved, says that residential neighbourhoods are to be "predominantly low density residential areas" (section 9.1.1.4.3(a)). The general standard for low-density residential development is 11 dwelling units per "gross residential hectare". A gross residential hectare is net of environment/natural heritage, stormwater management, and major institutional lands, but includes roads and local community commercial and institutional uses. Low-density residential development is restricted to single-detached and two-unit dwellings (section 9.1.2.7).

In the South Keswick Development Area, development is allowed to a maximum density of 14.5 units/gross ha for low-density residential, which may be further increased to 16.6 units/gross ha if medium-density residential is included (section 9.1.3.8(f)(iv)). These densities exclude lands within the designated Glenwoods Urban Centre.

South Keswick Development Area Plan

In 1999, Georgina Council approved a revised South Keswick Development Area Plan, prepared by consultants to Metrus affiliates. The land use plan (figure 2) in that document has been replaced by an updated (2005) drawing to reflect subsequent subdivision approvals. The 2005 land use plan has never been approved by Council as an amendment to the 1999 Development Area Plan, but is relied upon by staff.

The Development Area Plan includes detailed information on projected land use areas, dwelling types, populations, and densities (tables 1-4), and appears to be the source of the South Keswick density policies in the Secondary Plan. These data have not been revised to reflect the changes in the land use plan, but as the plan changes are modest, any revised data should be only modestly different also.

The Development Area Plan indicates the following statistics for the whole of South Keswick:

- total area, 392.0 ha
- gross residential area, 310.1 ha
- dwelling units, 5,447
- population, 15,438 (based on 2.9 persons per low and medium density unit and 2.0 persons per high density unit).

This yields a density of 17.6 dwelling units per gross residential ha (a base that allows comparisons to the dwelling density standards in the Secondary Plan), and 39.4 persons per total ha (a base that allows comparisons to the population density standards in the Growth Plan and Regional Plan).

Within the lands identified as Residential Neighbourhood in the Development Area Plan (excluding lands within the designated Urban Corridor and Glenwoods Urban Centre), the statistics are:

- total area, 292.9 ha
- gross residential area, 214.0 ha
- dwelling units, 3,058 (for all practical purposes these are entirely low density)
- population, 8,868 (based on 2.9 persons per unit).

This yields a density of 14.3 dwelling units per gross residential ha, and 30.3 persons per total ha.

(Note that Table 4 of the Development Area Plan shows 14.5 units per gross ha, which appears to be the basis for the South Keswick density standard in the Keswick Secondary Plan. Based on the information presented in Table 1, the gross residential area and unit density figures in Table 4 are wrong and the correct figures are above.)

Metrus lands in South Keswick

Affiliates of Metrus own 241.0 ha of undeveloped land in South Keswick, according to the 2014 tax year assessment roll. This excludes the areas of subdivision plans 19T-95052, already developed by Metrus, and plan 19TG-2003-001, currently under development by Metrus. The Metrus undeveloped lands are shown on a marked-up copy of the 2005 South Keswick land use plan, attached.

I will also exclude the 8.3 ha area of subdivision plan 19T-10G02 (area A on attached plan). This

plan has been draft-approved, but does not yet appear to have been registered, nor has development yet begun. This leaves 232.7 ha of undeveloped Metrus lands.

From this should be deducted the following. All figures are as given on or measured from the attached 2005 land use plan.

- Glenwoods Urban Centre - 22.7 ha
- Urban Corridor as shown on attached plan - 0.3 ha
- Lands redesignated to Urban Corridor in 2010 (area B on attached plan) - 2.7 ha
- Natural Features - 19.2 ha
- Commercial/Employment - 39.3 ha.

This leaves 148.5 ha owned by Metrus that is identified for Low Density Residential development, but is still undeveloped, and apparently not subject to any approved plan of subdivision.

Can 2,146 persons-equivalent be accommodated on Metrus lands in South Keswick?

This can be looked at in two ways.

Unit density

- ▶ The Secondary Plan currently limits development on Metrus's 148.5 ha to a density of 14.5 units/gross residential ha, for a total of 2,153 units.
- ▶ 2,146 persons-equivalent translates into 740 units, based on the 2.9 persons/low-density unit standard in the Development Area Plan.
- ▶ Permission to add 740 units to what is currently allowed on the Metrus lands would increase Metrus unit numbers to 2,893 units, or 19.5 units/gross ha. (Metrus originally sought 20.7 units/gross ha for draft plan 19T-10G02 - see staff report to December 4, 2013 Council.)
- ▶ For the Residential Neighbourhood area as a whole, units would increase from 3,058 (Development Area Plan) to 3,798, and density from 14.3 units/gross ha to 17.7 units/gross ha. This would still be considerably less than the 24.9 units/gross ha projected by the Development Area Plan for the higher-density Glenwoods Urban Centre and Urban Corridor.

Population and employment density

- ▶ I have already referred to the "50 residents and jobs combined per hectare" density standards in the Growth Plan and Regional Plan.
- ▶ As well, Policy 5.2.15 of the Regional Plan says,

"That approved secondary plans within the designated greenfield area that are not completely built should be re-examined to determine if 50 residents and jobs per hectare in the developable area can be achieved."

▶ As noted above, the Development Area Plan projects 15,438 residents for South Keswick.

Adding 2,146 persons-equivalent from Maple Lake Estates would increase this to 17,584 residents.

- ▶ 50 residents and jobs per ha yields 19,602 residents and jobs for South Keswick. That allows for another 2,018 residents or jobs on top of the Maple Lake Estates residents - there would be no more residents, but we have not yet accounted for jobs.
- ▶ As is well known, projecting or documenting employment densities is a challenging task. This has been most recently acknowledged in *Technical Report on Preliminary Performance Indicators for the Growth Plan for the Greater Golden Horseshoe, 2006*, Ministry of Infrastructure, undated but published February 2014.
- ▶ The Development Area Plan indicates 56.6 ha of employment lands. If these lands were to provide 2,018 jobs, bringing South Keswick's overall density up to 50 residents or jobs per hectare, that would be 35.7 jobs provided per hectare of employment lands. The table, Population and Job Density in Urban Growth Centres - 2006 & 2011, at page 13 of the above-referenced *Technical Report*, suggests that employment densities in South Keswick would not likely exceed that figure.

Conclusions

In my opinion, the best option for a Maple Lake Estates development approvals exchange would be to provide equivalent development approvals on lands owned by Metrus affiliates in South Keswick, over and above the level of residential development currently permitted or contemplated there.

This option:

- would best conform to the planning policies referenced in my December 20, 2013 letter,
- would fulfil the Regional Plan requirement to reconsider densities in South Keswick,
- would avoid leapfrog development,
- would avoid any development of lands designated Protected Countryside in the Greenbelt plan, or Environmental Protection, Agricultural Protection, or Rural in the Town's Official Plan,
- could be accomplished by permitting a reasonable unit density increase in South Keswick, and,
- using the example of 2,146 persons-equivalent, could be accomplished within, and without exceeding, the Growth Plan and Regional Plan targets for greenfield population and employment density.

As you know, negotiations are currently taking place regarding a possible development approvals exchange. I ask that you take my analysis and conclusions into consideration in the Official Plan review, and ensure that all options are kept open.

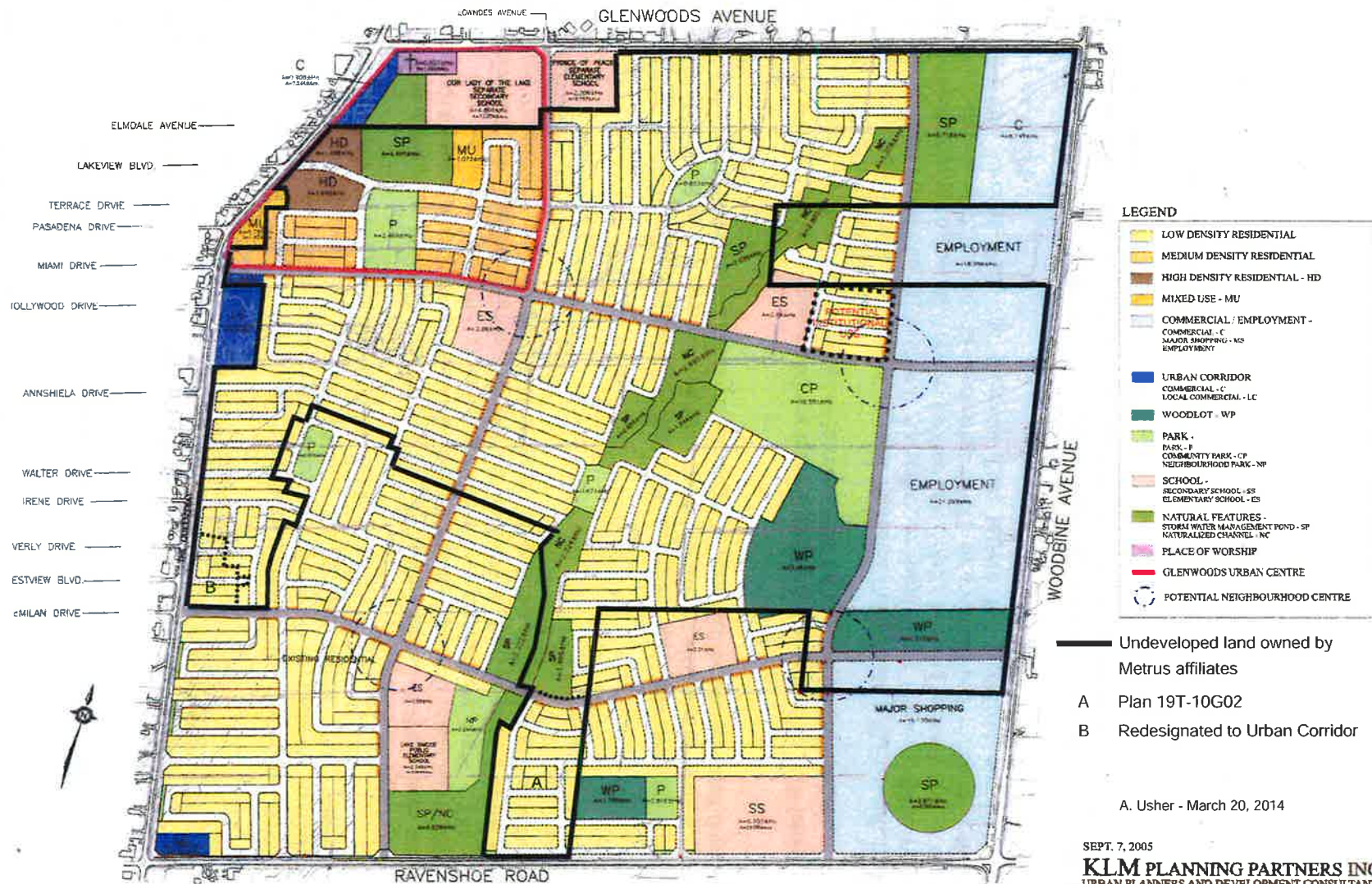
Please let me know if you need any further information or clarification.

Yours sincerely,

[original signed by]

Anthony Usher, MCIP, RPP

SOUTH KESWICK DEVELOPMENT AREA PLAN



SEPT. 7, 2005

KLM PLANNING PARTNERS INC.
 URBAN PLANNERS AND DEVELOPMENT CONSULTANTS
 64 JARDIN DRIVE - UNIT 1B, CONCORD, ONT. L4K 4P3
 PHONE (905) 669-4052 FAX (905) 669-0067 design@klmplanning.com

Andrea Furniss

From: Gary Foch <garyfoch@rogers.com>
Sent: March-21-14 1:02 PM
To: Harold Lenters; Andrea Furniss
Subject: Meeting
Attachments: Foch SP Sept 13 11.pdf; Foch SP Sept 13 11 COLOR.pdf; SEWAGE SYSTEM ASSESSMENT.pdf.pdf

Hi Harold and Andrea,

I wanted to take a moment to thank you both for meeting.

I also wanted to share with you some extensive work that was done late 2011 and early 2012 at the "Gateway " and the subject property with a plan that could comfortably be supported by on site well and septic. The documents are attached. These were designed to provide a Bank with a Drive through, and a small 2 story professional office.

I would like to encourage and invite you to do whatever is possible to ensure the that going forward, the policy to enhancing this Gateway Property is "wordsmithed" in the TOWN OPA , to compliment anything reasonable for the subject site. A concept such as that attached would, seemingly be better than welcoming folks to Keswick and Georgina vs the existing a single family residence. In addition it would accommodate jobs, commerce, tax base as an additional Gateway feature.

Please feel free to forward this over to Jim and the Regional with any comments from the Towns perspective, as it will be an important piece to the puzzle for him to consider as OPA policy wording and direction evolves.

I will also note same in my discussions with Sandra Malcic as our dialogue moves along

Thank you

Gary Foch

Royal LePage Your Community Realty & BCCL Property Mgmt
ICI Sales Representative, Property Management/Assembly/Development

Founder of GGEC and BCCL

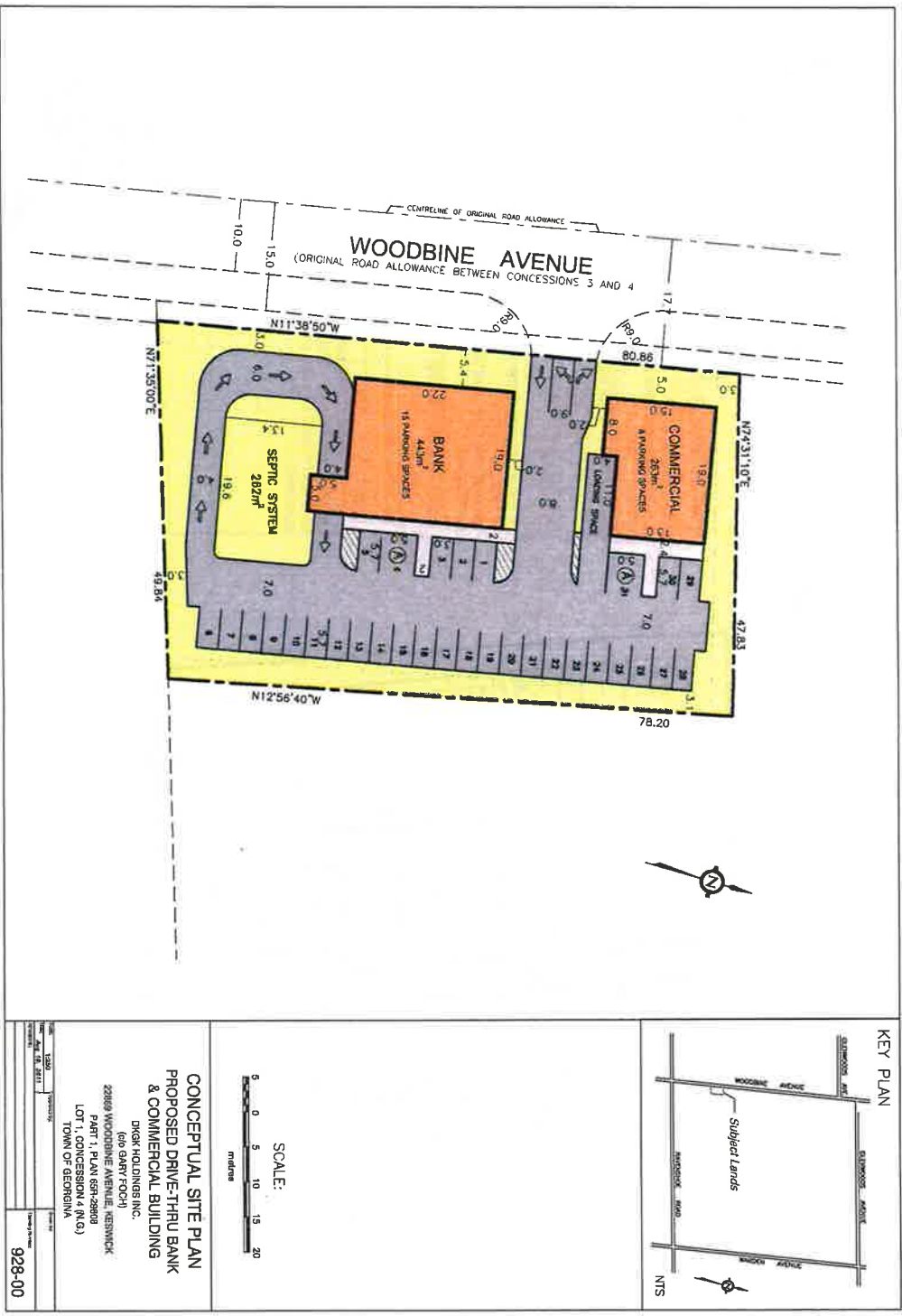
www.GeorginaICI.CA

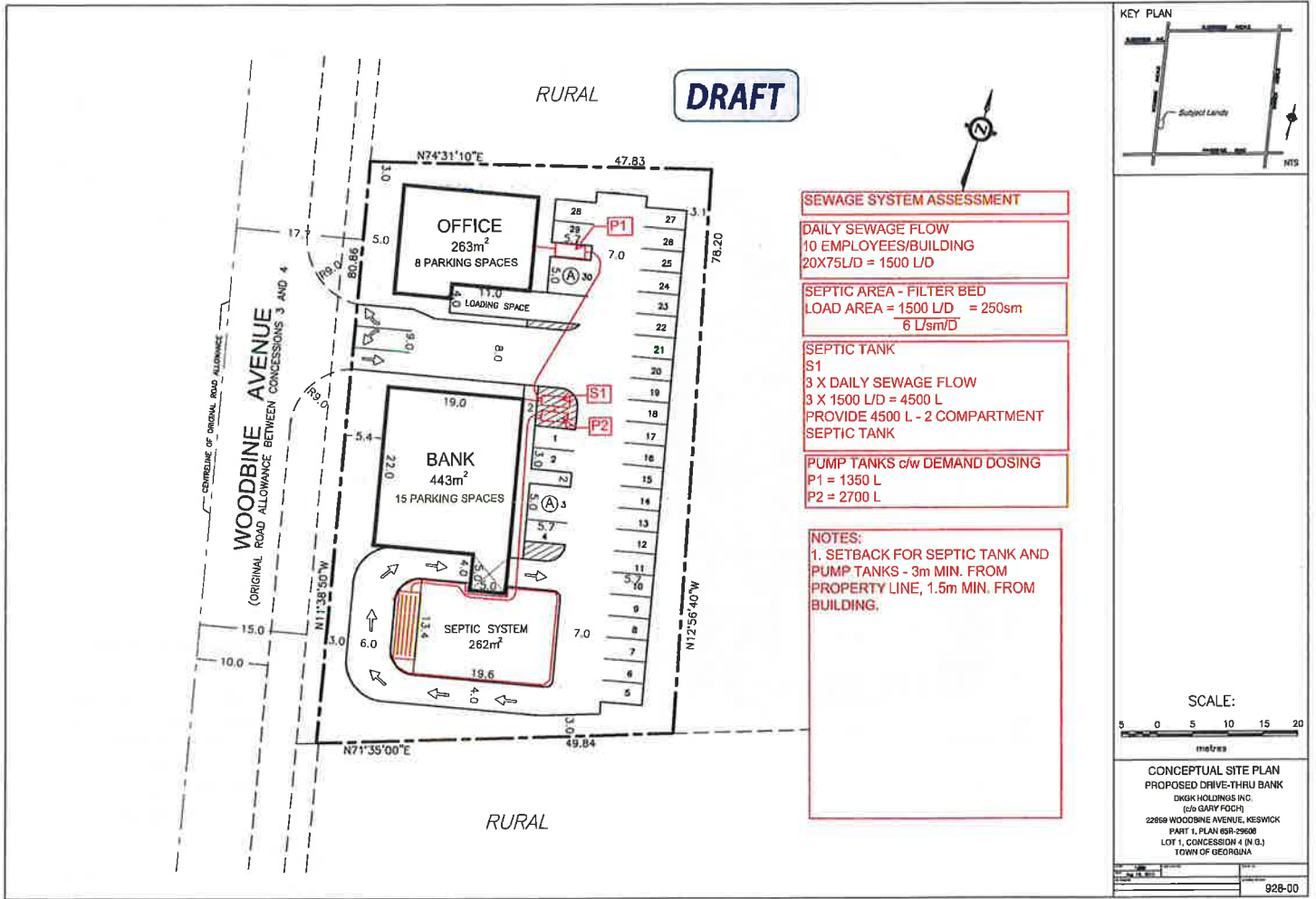
Toll free 1.877.356.7034 Ext 418

Direct Private Fax 1.905.476.5478

Cell 905.967.5478

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Comments submitted by Gwendolyn Ward by e-mail - April 17, 2014

#1- Housing

- Discussion around the fact that individual property owners who are renovating/upgrading cottages and/or tear downs, are, in fact, creating their own affordable housing – township has set very high standards and policies which make it very expensive (permits) – folks at the table were not necessary against that (high standards vs. a vs. building code/environmental protection etc.) but would like to see that recognized and supported by the Town and also see that those same high standards are rolled out to developers so that they are not given a “free pass” so to speak
- We didn’t really like the focus on “affordability” in housing, preferring a family focus instead. Georgina already has some distinct segments: very expensive housing (usually on waterfront and often vacant at least some of the year), together with a fair amount of institutional housing and a number of properties operated by slumlords (for lack of a better expression) renting dilapidated housing that doesn’t meet code and certainly makes the town look run down.
- We preferred putting the focus on families and attracting the middle class to offset above - families use the services we have (or are looking to create with the new acquisitions, etc.) and will naturally bring the kind of vibrancy that we need in our town.

#2 - Waterfront development

- No one was supportive of the Town’s currently policy of buying up or acquiring more waterfront land. Lot’s of discussion about lake access (which you heard from the speaker at our table) but I think it is more than that. We don’t have the whole parking situation under control. No one wants to have to police outsiders who continually roam the side streets in summer trying to park (when the beach parking is full) or to evade paying the parking fee.
- Residents don’t know if parks like De La Salle and Willow Beach pay for themselves (in parking revenues) or make money for the town – if the cost of operating these parks means increased taxes, you can see why there is a lot of frustration. Perhaps the Town could be more transparent about this and it would generate less of a backlash
- There was a lot of discussion about not making good use of the current land we have. The dock at the end of Warden (and Lake Drive) was closed all last year for dock repair. There is a large parcel of land by De La Salle with buildings on it slated to be torn down (according to the Town budget) but no one knows what is happening there. Then there is Mossington Point – all boarded up. Makes us look like a dying town. I think residents would like to see a better system for use, maintenance and parking with the current lands before we buy more.
- There were comments about the general run down appearance in Georgina and that there does not seem to be any ongoing ground maintenance. We have a lot of staff driving around in vehicles all the time and while they are very responsive to fix or address an issue when requested, we don’t see landscaping or weeding, ground maintenance etc. happening on a scheduled basis. The public spaces all look unkempt and overgrown by the middle of the summer – last year it was very bad at the library / public schools, etc. We understood that the town might be

acquiring more green spaces in anticipation of future growth but we'd like to see some effort put towards maintaining what we already have for the use of current residents.

- No one wanted to see development on the waterfront lands – not sure why the town wants to promote this given the mandate to protect the environment and the lake. There is already a natural process whereby waterfront lands (or any desirable locations) get updated to better, year round residences which is perfect as standalone single family properties – way less impact on the environment and no tears to the fabric of the existing community. Why not just let this process continue to occur and stop trying to pack in medium density (townhouses, condos etc.) at the waterfront which are more suited to in town and needed – if we look at Dalton and Lake Drive and a few other places – the new development at the fairgrounds and on baseline are good examples
- While the Town is very strict with enforcing its by-laws when individual property owners want to renovate/upgrade/or new build, again, there seems to be lack of ongoing enforcement of existing property standards – lot's of properties are clearly in violation of code and no one does anything about it.

#3 – Lake Simcoe / Natural Spaces

- Want the lake protected at all costs. It is why we live here. Not always clear to residents how the lake is NOT protected in built up areas? The same users (humans, flora and fauna) are affected when pollution or habitat degradation occurs – there are no “boundaries” in nature or in the water
- You put the materials for the North Gwillumbury proposed land swap on the table and we discussed that – every one at my table has the sign on their property – we all were supportive of keeping the forest intact and in favour of the second proposal which would place new development within existing Keswick and not create a new satellite urban space
- Would like to see connections between all these green spaces and the lake – for instance, I drive along Kennedy between Metro and Baseline every day and often see the herd of deer that live in the stands of forest there. What happens to their access to the lake when those lands become subdivisions (which they will)? Can we look at creating a bypass for them like is done in parks and other parts of the world – this would be such a plus for the town residents and future tourism– we should map this now before any further development takes place

#4 – Local Work

- The discussion at our table was pretty much mirrored by the comments you heard in the room. We are all very attracted to the idea of job-creation but skeptical about it happening absent defined goals and concerted efforts to attract the kinds of employers that we think would be a good fit.
- We think this should be a very high priority – identifying the right kind of industry (fit) for us and then going after that in a targeted way – good example is the potential satellite York U campus in East Gwillumbury – other suggestions included the green proposals put forward for the Reed Farm lands – we talked

about how Georgina was a bit like Ireland (which missed the industrial revolution – and thus all the bad things that accompanied it and were able to “jump over” the 20th century right into the high tech 21st century). Because services came so late to Georgina, developers haven’t yet “paved us over”. We’d like to see the Town continue to focus on projects/possible future employers who fit with our special environment and focus on nature and outdoor spaces, environmental or green building or best practices – we could become a centre for excellence in the province.

- We’d like to see the Town define this as part of our vision. We talked a bit about King Township and how they decided they wanted to stay rural and the challenges and successes they have had in that – Georgina needs to do the same. Once they have a mandate from residents – it should be hardwired into our Town Plan in such a way that we don’t have to keep coming back to the table for each and every development that comes along

Anthony Usher Planning Consultant

146 Laird Drive, Suite 105, Toronto, Ontario M4G 3V7

(416) 425-5964

auplan@bellnet.ca

May 8, 2014

Mr. Jim Dymont
MHBC Planning
113 Collier Street
Barrie, Ontario
L4M 1H2

and

Ms. Andrea Furniss
Town of Georgina
Keswick, Ontario
L4P 3G1

Dear Mr. Dymont and Ms. Furniss:

Re: Official Plan Review - Maple Lake Estates

I have reviewed the Planning Policy Review document of March 14, 2014 and on behalf of my client, the North Gwillimbury Forest Alliance (NGFA), would like to express some concerns. My apologies for not getting this response to you earlier.

Section 3, Environment (pp. 3-8)

1. Generally, I feel this section sidesteps the Town's obligations regarding conformity with the wetlands and woodlands policies of the Regional Municipality of York Official Plan, as described in my November 8, 2013 letter to you.

The emphasis is on the Town's obligations regarding conformity with the Regional Greenlands System policies. That's fine as far as it goes. However, in some places the wetlands and woodlands shown on Regional Plan Maps 4 and 5 respectively extend beyond the Regional Greenlands shown on Map 2. Also, the Regional Plan Section 2.2 development prohibitions in wetlands and woodlands are more restrictive than the Section 2.1 development prohibitions in the Regional Greenlands.

I note particularly the following from the Section 2.2 preamble:

"Key natural heritage features and key hydrologic features can exist within the Regional Greenlands System or outside of the System. Key features within the System are subject to the policies in Section 2.1 and 2.2. Key features outside of the System shall be protected subject to the policies of Section 2.2."

2. The report appears to equate the intent of the Regional Greenlands System with the intent of the Environmental Protection Areas in the Town's Official Plan - see p. 3, last paragraph, and Map 1. I think this is potentially misleading. The Town's Environmental Protection Areas intended to include *all* natural heritage features mapped as of 2002 - see Official Plan section 3.5.2.3. As described above, the Regional Greenlands System does not intend to include all natural heritage features mapped in or identified by the Regional Plan. The Town objective should be to expand the Environmental Protection Areas to encompass the Regional Greenlands, *and* those key natural heritage features identified by the Regional Plan that extend beyond the Greenlands.
3. The list of key natural heritage features on p. 4 is incomplete, relative to the definitions in the Greenbelt Plan and Regional Plan.
4. I was somewhat mystified by the comment on p. 4, "[w]hile these features are generally identified by the Province, in Georgina the Lake Simcoe Conservation Authority [sic] has undertaken some detailed mapping to identify key natural heritage and hydrologic features" that should be included in the Official Plan. I'm not going to comment on hydrologic features, but I'm not aware of any mapping that LSRCA has undertaken on key natural heritage features, including those omitted from the report, with the exception of significant valleylands to the extent that flood plain mapping may be construed as identifying them.

Particularly with respect to wetlands and woodlands, I do not see any LSRCA role:

- ▶ Provincially significant wetlands are identified by the Province. In addition, the Province has normally been relied on to identify the entire wetland map layer. For example, the Province recently undertook a remapping of wetlands within the Lake Simcoe basin (see my November 8, 2013 letter), and the LSRCA relied entirely on that Provincial mapping to update its regulated areas in July 2013.
 - ▶ I believe that York Region relies on air photography to generate its own identification of woodlands, and of course the Regional Plan sets out the criteria for significant woodlands from a Regional viewpoint, consistent with the Provincial Policy Statement.
5. Priority 3, on p. 4, omits Maple Lake Estates (MLE), which is part of the Official Plan review area but does not fall within the two designations cited.
 6. While I appreciate the need for economy in numbers of maps, I think Map 2 is potentially confusing, by depicting not only key hydrologic features, but also source water protection designations which are another matter entirely.
 7. It also appears that Map 2 is relying on the pre-2013 wetland database, not the current one.
 8. Even if it's repetitive, I think it's very important for wetlands to be included on any map of natural heritage features (Map 3).

Section 10, Transportation (pp. 21-23)

9. Priority 2 on pp. 21-22, and its representation on Map 13, are problematic. The first two sentences of Priority 2 are correct, and yes, the Town would like to see Highway 404 extended to Glenwoods Avenue. I appreciate the Town would like the latter point represented in some way on the map, but this does not seem the right way to do it. Highway 404 from Ravenshoe Road to Glenwoods Avenue has no different status from the rest of the route, either in terms of environmental assessment approval or Provincial funding commitments. The only difference is that the Town would like 404 built to Glenwoods soon - and that is the only difference the map should show.
10. Map 13 shows an "area not to be serviced" between MLE and Keswick. This is not explained anywhere in the text. Presumably, this designation is intended to reflect Section 3.20.2.1 of the Official Plan. However, that policy is now in play, given the discussions about relocating MLE, possibly to a site within the "area not to be serviced" (I am not in any way endorsing that site, as is made clear in my December 20, 2013 and March 20, 2014 letters to you). Regardless, it does not seem appropriate to show this designation on Map 13 at this time.

As well, Section 3.20.2.1 was understandable in the context of approval of MLE 25 years ago. However, that was before comprehensive Provincial Policy Statements, the Growth Plan, the Greenbelt Plan, or the first Regional Plan. In today's planning environment, it is quite clear that establishing new serviced areas *anywhere in Georgina* beyond currently designated settlement areas could only proceed after the severest tests. Designating some rural lands in Georgina as "not to be serviced" implies a lesser test for other rural lands, which seems to me contrary to all current policy.

Appendix 5

11. I have not undertaken a detailed review of the appendix, but am concerned that in its treatment of the Regional environmental policies, it errs in the same direction as suggested above under Section 3 of the report.

Specifically with regard to wetlands and woodlands, the Appendix:

- ▶ Omits Regional Policy 2.2.35.
 - ▶ Errs in saying that Section 3.6.3.15.2 of the Georgina Plan implements Regional Policies 2.2.36, 2.2.37, and 2.2.39 to the extent suggested. "Evaluated wetlands" in the Georgina Plan do not include all the wetlands protected in the Regional Plan.
 - ▶ Omits Regional Policy 2.2.44.
12. I would also suggest that with respect to wetlands, the Georgina Plan could do better than the Regional Plan. Regional Map 4 intended to represent all wetlands identified by MNR at that time (provincially significant, other evaluated, and non-evaluated). It is already outdated, because of the recent MNR remapping described above. I have discussed this issue with Regional staff. They have advised me that:

- ▶ MNR's recent identifications of additional wetland areas is a grey area in terms of Regional Plan policies. In terms of Regional Policy 2.2.40, they are not "reclassifications". Whether they are "refinements" is uncertain, and may be influenced by whether they abut existing wetland areas (some do, some don't). Any newly identified wetland areas that do qualify under this policy could be added to Map 4 through an office consolidation revision.
- ▶ If a newly identified wetland is neither reclassification nor refinement, it can only be added to Map 4 through an official plan amendment, as per Regional Policy 2.2.41.
- ▶ If a newly identified wetland does not qualify under Regional Policy 2.2.40 and has not otherwise been added to Map 4, it is subject only to Regional Policies 2.2.39 and 2.2.42.

Therefore, rather than simply adopting Regional Policy 2.2.40, the Town should ensure that any wetland identified by MNR or site-specific study is immediately subject to all policies appropriate to its status (that is, provincially significant, or not), regardless of whether or not it's yet mapped in the Official Plan.

Please let me know if you need any further information or clarification.

Yours sincerely,

[original signed by]

Anthony Usher, MCIP, RPP

Anthony Usher Planning Consultant

146 Laird Drive, Suite 105, Toronto, Ontario M4G 3V7

(416) 425-5964

auplan@bellnet.ca

May 29, 2014

Mr. Harold Lenters
Director of Planning and Building
Town of Georgina
Keswick, Ontario
L4P 3G1

Dear Harold:

Re: Official Plan Review - Maple Lake Estates

Thanks very much for your email of April 28, 2014 responding to my March 20, 2014 letter about Maple Lake Estates development approvals exchange options. I appreciate your taking the time to review my submission.

I take it that except for the concerns you raised about my analysis, you do not disagree with the planning merits of South Keswick as the best option for a Maple Lake Estates development approvals exchange as outlined in that letter.

On behalf of my client, the North Gwillimbury Forest Alliance (NGFA), I would like to respond to the concerns you raised. I have also discovered that there are some problems with the South Keswick Development Area Plan statistics I relied on, and would like to address those as well. As I will explain, these changes do not affect my opinion, advanced in my March 20, 2014 letter, that the best option for a Maple Lake Estates development approvals exchange would be to provide equivalent approvals on lands owned by Metrus affiliates in South Keswick, over and above the level of residential development currently permitted or contemplated there.

This option:

- would be most consistent with the Provincial Policy Statement and would best conform to Greater Golden Horseshoe Growth Plan, the Greenbelt Plan, and the York Region Official Plan,
- would fulfil the Regional Plan requirement to reconsider densities in South Keswick,
- would avoid leapfrog development,
- would avoid any development of lands designated Protected Countryside in the Greenbelt Plan, or Environmental Protection, Agricultural Protection, or Rural in the Town's Official Plan, and
- could be accomplished by permitting a moderate unit density increase in South Keswick.

I'm copying this letter to the Town staff to whom you copied your email, as well as Jim Dymont to whom my March 20, 2014 letter was addressed.

Your email - appropriate density measurement

I have included the substantive portions of your email below, in *italics*.

[I enclose] a document entitled "Achieving Density Targets For New Communities in York Region", which I understand Regional Council endorsed on March 27, 2014. The staff report that was presented to Regional Council on March 27th states: "The Achieving Density Targets for New Communities in York Region guidelines (the guidelines) has been prepared to serve as a tool for local municipalities and the building industry to use in planning for the York Region Official Plan, 2010 (YROP-2010) targets of 20 units and 70 residents and jobs per developable hectare in new community areas". While the guidelines were developed for the "new community areas" within the Region, I seen no reason why these guidelines should not also serve as an appropriate and accurate approach to measuring the Regional Official density target of 50 residents and jobs combined per hectare as may be required in other greenfield areas in fully serviced urban communities in York Region, such as the South Keswick Development Area (SKDA).

Thanks very much for drawing my attention to these Regional guidelines, which were not approved nor available to me when I wrote my March 20, 2014 letter.

While Regional Council endorsed the guidelines, it also asked staff to "report back . . . on the possibility of adding language that allows for a context-sensitive solution to density targets".

I agree that, in principle, the sections on page 3 of the Regional guidelines regarding population and employment estimates are applicable, and should be applied, to measuring development densities in designated greenfield areas like the undeveloped portions of South Keswick - however, please see my reservations below.

Also, while the definition of "developable area" on page 3 of the guidelines is taken from the Regional Plan (though that definition is under appeal), it is not quite the same as the definition of "gross residential land" in the Keswick Secondary Plan, and I relied on the latter in my calculations.

In considering your submission in relation to the Region's new guidelines, I have concerns with respect to the density factors utilized to calculate the total population and jobs estimate within the SKDA. Specifically, the Region's guidelines utilize the following persons-per-unit (PPU): 3.61 PPU for Single Detached; 3.30 PPU for Semi-Detached; 3.02 PPU for Row House (Townhouse), and; 1.98 PPU for Apartment While you have used a similar figure for Apartments as the Region (2.0 PPU vs. 1.98 PPU in the guidelines), the use of 2.9 PPU for singles, semi's and row house units is notably less than the above noted PPU's the Region recommends using for these types of dwellings. In my view, the population generated in the April 1996 and Revised June 1999 South Keswick Development Area Plan using a 2.9 PPU, and which you have also used in your submission, is reflective of a "serviced population" figure used in the tracking of water and sewer servicing allocation, as opposed to measuring a "planning population" or the actual number of people anticipated to be living in these new greenfield development areas. As such, it appears appropriate that the Region's PPU figures from the guidelines should be used in your density and population analysis/calculations.

I have some difficulty with your characterization of the PPU values in the South Keswick Development Area Plan, which I relied on, as "reflective of a 'serviced population' . . . as opposed to . . . a 'planning population' or the actual number of people anticipated to be living [there]".

The South Keswick Development Area Plan does not suggest that it is using 2.9 PPU for low- and

medium-density residential development, in order to project a "serviced population" different from an actual population. The bottom line of Table 2, 15,438 persons, certainly appears to be the projected actual population of South Keswick.

This becomes much clearer on page 37 of the Development Area Plan. The last paragraph on that page refers to policies of the then-in-force Keswick Secondary Plan regarding parks standards. While the numerical standards have changed, the way those standards are expressed (sections 9.3.1.7.2(f) and (g) of the present Secondary Plan) surely have not. The policies require provision of so many hectares of park per "one thousand people" - undoubtedly actual people, not nominal sewage-emitters.

The Development Area Plan takes the Keswick parks standards then in effect, and calculates the parkland requirement for South Keswick at 27.79 ha. Working backwards, that was based on approximately 15,440 residents - the same population as projected in Table 2.

In other words, the South Keswick Development Area Plan values of 2.9 PPU for low- and medium-density development and 2.0 PPU for high-density development were intended to estimate a real population, not hypothetical sewage-emitting equivalents. Perhaps the authors of the Development Area Plan erred in choosing these PPUs, and certainly the Regional guidelines values were not available in 1999, but to me the Development Area Plan represented a deliberate policy choice of Georgina Council that these were the actual PPUs it was seeking for South Keswick.

Of course, the Town still uses the above PPUs to determine persons-equivalent for sewage allocation purposes. In my experience, the primary use of "persons-equivalent" specifically for sewage purposes, is where we don't or can't know the actual population. One such example is the original Maple Leaf Estates, which was an atypical development approval, that included a specific policy decision that there should be not more than 2 persons per unit - hence the "persons-equivalent" of 2.0 PPU for sewage purposes in that case. Other examples include the calculation of assumed sewage flows for institutional, commercial, etc. uses. Where we have typical residential development, and the ability to make reasonable PPU projections based on existing development patterns, then in my experience the projected PPU would be the same for all purposes: sewage, community services, and so on. If there is any Regional or Town policy that suggests that projected residential persons-equivalent for sewage purposes should differ from projected residential populations for other public service purposes, I would be grateful if you could provide it.

The Regional guidelines suggest that the most appropriate value to use for single-detached residential development is 3.75 PPU (including the 4% undercount factor recommended by the Region). Of course, that is a Region-wide average, and may not be appropriate to Georgina, in terms of either actual occupancies experienced in the Town vs. the rest of the Region, or the deliberate policy choices that Council wishes to make. If the Regional value is appropriate, though, then doesn't it also suggest that Keswick sewage flows are being underestimated, and remaining plant capacity overestimated?

The 2011 Census provides some further evidence that the PPUs used in the South Keswick Development Area Plan and current Town sewage allocations may in fact be more appropriate for Georgina, than the higher PPUs recommended by the Region.

In 2011, 66.7% of the occupied private dwellings in York Region were single-detached, and the

percentages in the Region's two largest municipalities, Markham and Vaughan, were almost the same. In Georgina, that percentage was a much higher 82.8%. However, the mean population per occupied private dwelling was 3.17 across the Region, 3.32 in Markham, and 3.33 in Vaughan - but only 2.71 in Georgina.

In other words, single-detached dwellings in Georgina average significantly fewer residents per dwelling than single-detached dwellings in York Region generally.

The other major concern I have with your submission is that you end up attributing a total employment density of 35.7 jobs per hectare for the 56.6 hectares of designated Commercial/Employment lands in the SKDA abutting Woodbine Avenue, in order to reach a 50 residents and jobs per hectare target for the SKDA. In this regard, I can understand an employment density of 35-40 jobs/ha. is appropriate for Employment areas having land use designations which do not permit "population-serving" uses, such as the Keswick Business Park Secondary Plan area. However, as the Commercial/Employment designation in the SKDA permits a full range of "population-serving" uses including retail, service commercial, business and professional office, it is reasonable to anticipate this area developing with densities closer to 60 jobs per developable hectare, which is more reflective of densities in existing retail areas in the Region (see discussion on page 3 of the guidelines).

I have no problem with using the Regional guidelines approach for employment purposes, which again was not available to me when I wrote my letter.

In conclusion, I believe there is a strong argument that your analysis under-estimates the total population and jobs that could be developed under the current land use and density policies for the SKDA as set out in the existing Keswick Secondary Plan.

Certainly, if I were to use the approach recommended by the Region, the result would be more residents and jobs per hectare in South Keswick than I originally projected, as I will discuss in detail below.

However, with regard to what can be developed under current policies:

- ▶ The approved policies of the Keswick Secondary Plan that prescribe maximum dwelling units per gross (or net) residential hectare are what they are, as described in my March 20, 2014 letter.
- ▶ The approved policies of the South Keswick Development Area Plan that appear to set as an objective 2.9 PPU for low- and medium-density residential development, are also what they are.

For low-density residential development in South Keswick, these policies cap development at 14.5 units/gross residential ha, or 43.7 persons and jobs per ha (including 4% work-at-home employment as per the Regional guidelines). The Regional guidelines approach makes no difference to what can be permitted, although it could inform future amendments to the above planning documents.

Revisiting the South Keswick Development Area Plan

Areas

Tables 1-4 in the 1999 South Keswick Development Area Plan were the source of the areas I used in my March 20, 2014 letter. I have looked more closely at the 1999 document's (hard to read) Figure 2 land use plan, and have more thoroughly compared the tables and Figure 2 with the 2005 land use plan, currently relied upon by staff.

It turns out that the 1999 document's Figure 2, and therefore also Tables 1-4, are quite out of whack with the 2005 land use plan and therefore with the Keswick Secondary Plan, whereas the 2005 plan is much more consistent with the Secondary Plan. As a result, it would be better to rely on areas calculated from the 2005 plan, while still adhering to the principles of the 1999 document. These revised areas as follows; figures that have changed since my March 20, 2014 letter are in *italics*.

- Total area of South Keswick - 392.0 ha
- *Total gross residential area - 290.9 ha*
- *Gross residential area of lands identified as Residential Neighbourhood (low-density residential) - 256.8 ha*
- Undeveloped lands owned by Metrus affiliates within Residential Neighbourhood (excluding subdivision plan 19T-10G02) - 148.5 ha.

Dwelling units

As a result, the dwelling unit figures in the 1999 document can no longer be relied on, so I will have to rely on the dwelling density standards in that document and the Keswick Secondary Plan, applied to 2005 plan areas:

- Low-density residential: 14.5 units per gross residential hectare (Secondary Plan) x 256.8 ha = 3,724 units (the 1999 document indicates 14.3 units per gross ha)
- Medium-density residential: 60 units per net residential hectare (Secondary Plan and 1999 document) x 8.6 ha = 516 units
- High-density residential on high-density residential lands: 100 units per net ha (Secondary Plan and 1999 document) x 2.69 ha = 269 units
- High-density residential on mixed-use lands: 50 units per net ha (1999 document) x 1.85 ha = 93 units
- Total dwelling units - 4,602 units.

The unit total for South Keswick is considerably less than the 5,447 units indicated in the 1999 document. On the other hand, the Residential Neighbourhood low-density total is considerably more than the 3,050 in the 1999 document. The disappearance of the residential components of the urban corridors, which included substantial medium-density as well as low-density development, between the 1999 document and the 2005 plan, accounts for most of these differences.

Population

The dwelling unit changes mean that the population numbers in the 1999 document also can no longer be relied on. As well, the new Regional guidelines approach to estimating population and employment casts further doubt on the 1999 numbers, although, as I indicated above, the question

remains as to whether it is appropriate to use the Regional PPU values in South Keswick. Nevertheless, I will demonstrate the effects of using the Regional PPU values.

As indicated earlier, the Regional value for single-detached dwellings is 3.75 PPU (all values grossed up by 4% to reflect undercount). The 1999 document's 3,058 dwelling units on the Residential Neighbourhood lands were a mix of dwelling types. Assuming the new figure of 3,724 units on these lands is distributed among dwelling types in the same proportions as in Table 2 of the 1999 document, the Regional value would still be 3.75 PPU for the dwelling mix as a whole.

On the medium-density residential lands in the Glenwoods Urban Centre, I will assume all development to be townhouse, for which the PPU is 3.14. For the high-density residential and mixed-use lands in Glenwoods, I will assume all development to be apartments, for which the PPU is 2.06.

The resulting resident population is:

- Residential Neighbourhood (low-density) - 13,965
- Glenwoods Urban Centre - 2,366
- Total resident population - 16,331.

For jobs, I will rely on the Regional guidelines approach:

- Commercial employment: 67.6 ha commercial lands (Commercial/Employment plus Urban Corridor) x 60 jobs/ha = 4,056
- School employment: 6 elementary schools @ 40 jobs + 2 high schools @ 110 jobs = 460
- Work-at-home employment: 4% of resident population = 653
- Total jobs = 5,169.

This yields total residents plus jobs of 21,500. The developable area, consistent with the Regional Plan and guidelines, is approximately as follows:

- Total area of South Keswick measured out to boundary road centrelines - 407.1 ha.
- Less Regional Greenlands - On the 2005 plan, the following areas are approximate proxies for the Regional Greenlands: Woodlots, and Natural Features excepting the stormwater management pond at the southeast corner. These areas total 50.8 ha.
- Developable area: 356.3 ha.

Therefore, relying on the 2005 plan and the above assumptions, particularly the Regional guidelines, yields 60.3 residents and jobs per ha in South Keswick, averaged over developed and undeveloped lands. This exceeds the Growth Plan/Regional Plan standard of 50 residents and jobs per ha for designated greenfield areas - but it is important to note that this standard is a *minimum*.

(In my March 20, 2014 letter, on page 6, I overestimated the population that the 50 residents and jobs standard would yield in South Keswick, because I applied the standard to the total Development Plan area of 392.0 ha, instead of the above developable area.)

Revisiting relocating 2,146 persons-equivalent from Maple Lake Estates to South Keswick

As indicated in my March 20, 2014 letter, Metrus affiliates are currently permitted 2,153 units on their undeveloped Residential Neighbourhood lands, based on 14.5 units per gross residential hectare.

Using Regional PPU values, an additional 2,146 persons would translate into 572 single-detached dwellings, or 625 semi-detached dwellings, or 683 townhouses, or some mix thereof. If we assume 625 semi-detached dwellings, still considered low-density by Town policy, this would have the following effects:

- Total Residential Neighbourhood area: dwellings would increase from 3,724 to 4,349; density would increase from 14.5 units to 16.9 units per gross ha
- Metrus undeveloped lands: dwellings would increase from 2,153 to 2,778; density would increase from 14.5 units to 18.7 units per gross ha.

The dwelling and density increases are less than indicated in my March 20, 2014 letter.

Total residents and jobs would increase from 21,500 to 23,646. Residents and jobs per hectare would increase from 60.3 to 66.4.

Conclusion

If the now-available Regional guidelines for estimating population and employment are applied, there would be considerably more residents and jobs in South Keswick than suggested in my March 20, 2014 letter. If it were determined that the South Keswick Development Area Plan PPU values for residential development are still more appropriate, total residents and jobs would be only marginally higher than in my previous letter. In the latter case, while there would be more jobs as a result of using the Regional approach, there would be fewer residents because of the decline in dwelling numbers resulting from relying on the 2005 land use plan instead of the 1999 Development Area Plan.

The relocation of 2,146 persons-equivalent from Maple Lake Estates to South Keswick would have only a moderate impact on South Keswick's density. If the Regional guidelines are applied, South Keswick would have more residents and jobs per hectare than the Growth Plan and Regional Plan minimum standard for designated greenfield areas whether or not the relocation takes place. Nevertheless, South Keswick would still be less dense than what might be considered the "best practice" 70 residents and jobs per ha for new communities prescribed by the Regional Plan.

In the conclusions to my March 20, 2014 letter, I stated, based on the South Keswick Development Area Plan information available to me at the time, that relocation to South Keswick "could be accomplished within, and without exceeding, the Growth Plan and Regional Plan targets for greenfield population and employment density". If the now-available Regional guidelines are relied upon instead, those targets will be exceeded in South Keswick, whether or not 2,146 persons-equivalent are relocated from Maple Lake Estates. But, the Growth Plan and Regional Plan targets are *minimums*, so the relocation would continue to conform with both plans as well as the Greenbelt Plan.

In summary, my opinion is that the availability and use of the Regional PPU values (if even appropriate for Georgina) do not affect in any way the planning merits of South Keswick as the best option for a Maple Lake Estates development approvals exchange.

Please let me know if you have any questions or comments, or need any further information or clarification.

Mr. Harold Lenters/May 29, 2014

8

Yours sincerely,

[original signed by]

Anthony Usher, MCIP, RPP



ALDERVILLE FIRST NATION

**11696 Second Line
P.O. Box 46
Roseneath, Ontario K0K 2X0
Phone: (905) 352-2011
Fax: (905) 352-3242**

**Chief: James R. Marsden
Councillor: Julie Bothwell
Councillor: Jody Holmes
Councillor: Dave Mowat
Councillor: Angela Smoke**

July 7, 2014

Town of Georgina
26557 Civic Centre Rd.
R.R. #2
Keswick, ON L4P 3G1

Att: Andrea Furniss, Senior Planner

Re: Town of Georgina Official Plan Review

Dear Andrea Furniss,

Thank you for your consultation request to Alderville First Nation regarding the above noted project which is being proposed within our Traditional and Treaty Territory. We appreciate the fact that Town of Georgina recognizes the importance of First Nations Consultation and that your office is conforming to the requirements within the Duty to Consult Process.

As per the Alderville First Nation Consultation Protocol, your proposed project is deemed a level 3, having minimal potential to impact our First Nations' rights, therefore, please keep Alderville apprised of any changes to your project. I can be contacted at the mailing address above or electronically via email, at the email address below.

In good faith and respect,

Dave Simpson
Lands and Resources
Communications Officer
Alderville First Nation

dsimpson@aldervillefirstnation.ca

Tele: (905) 352-2662
Fax: (905) 352-3242

MMM Group Limited
100 Commerce Valley Drive West
Thornhill, ON Canada L3T 0A1
t: 905.882.1100 | f: 905.882.0055

www.mmm.ca

July 18, 2014

Mr. Harold Lenters
Director, Planning & Building Department
Town of Georgina
26557 Civic Centre Road,
R.R. #2
Keswick, Ontario, L4P 3G1

Dear Mr. Lenters,

**RE: Comments on the Official Plan Review
2354 Ravenshoe Road, Keswick, Town of Georgina
North of Ravenshoe Road and East of Woodbine Ave, Part Lot 1, Concession 4**

On behalf of our client, Nizza Enterprises, MMM Group Limited (MMM) is submitting the following comments in relation to the above noted subject lands to be considered as part of the Town of Georgina's Official Plan (OP) Review.

We have reviewed the material prepared as part of the OP Review and have an understanding of the history in relation to the Keswick Business Park Study Area as a result of our meeting with yourself and Andrea Furniss on March 28, 2014. We also understand that the Town has recently extended the OP Review timeline into 2015. The following comments are based on our review of the OP Review materials prepared, our previous discussion and our client's intentions to develop the subject lands.

1) Keswick Business Park Study Area

The subject lands are located just north of Ravenshoe Road and east of Woodbine Ave in the Town of Georgina. The subject lands are one of four properties within the "Keswick Business Park Study Area (KBPSA)" as shown on Schedule A in the Town of Georgina's Official Plan. The Keswick Business Park Study Area is subject to the policies of Section 3.21 in the Official Plan. The policies indicate that the KBPSA designation is considered an overlay designation and is subject to the underlying designations which are "Agricultural Protection Area" and "Commercial Recreation Area".

We have reviewed the Planning Directions Report prepared by MHBC Planning (June 4, 2014) as part of the OP Review. Section 4.17 of the Report addresses the Keswick Business Park Study Area and notes that the lands are located within the Regional Flood Plain and the Natural Heritage

System (NHS) designation of the Greenbelt Plan. The Greenbelt Plan Review is expected to commence in 2015 giving landowners an opportunity to make a case to the Province to refine the limits of the NHS in this area. Therefore, the recommended direction for the Study Area is to maintain the existing overlay designation and policies through the Greenbelt Plan Review process. Upon completion of the review and based on the outcomes, the final determination of what should be done with this area will be made by the Town.

We are in support of this recommended direction to maintain the Study Area overlay designation as it will allow our client to work with the Province to justify the refinement of the NHS limits as part of the Greenbelt Plan Review and to determine the developable area and appropriate uses for the property.

2) Determining Developable Area

We note that the Planning Directions Report highlights Section 9.4.7.4.2.b of the Keswick Business Park Secondary Plan that places the onus on landowners to further pursue and determine the development potential of their lands with the appropriate authorities. The Town has indicated that meetings with several landowners have occurred over the past couple of years, however, none of the necessary studies have been provided to the Town or relevant agencies.

We would like to clarify that our client has submitted a Preliminary Floodplain Investigation Report to the Lake Simcoe and Region Conservation Authority (LSRCA) on June 18, 2012. The Report analyzed the feasibility of future commercial development on 20 hectares of land in the northeast quadrant of the Woodbine Avenue and Ravenshoe Road intersection. The Report found that raising the properties fronting on the east side of Woodbine Avenue above the flood line elevation would require fill and the effect on the surface water elevation was negligible. The LSRCA provided comments on the Report in 2013 in relation to modelling issues.

We are currently in the process of revising the Report to address the LSRCA comments and to determine the cut and fill locations. Simultaneously, we have undertaken site investigations to document the existing ecological site conditions during the spring in relation to woodlands, wetlands and open water habitat. The purpose of these investigations is to acquire a better understanding of the location and limits of the natural features on the site in order to determine the size and location of the developable area.

Furthermore, we would like to reiterate our intent to provide input into the Greenbelt Plan Review process. York Region has already held workshops in June to gather public input for a comprehensive submission to the Province. We plan on preparing a submission to York Region using the ecology and floodplain work, once completed, as justification for the refinement of the NHS limits.

July 18, 2014
Nizza Enterprises
File Number: 14.12224.002
Page 3



In summary, we appreciate your consideration of our submission for the Town of Georgina's Official Plan Review in relation to the subject property.

We would appreciate being notified of any meetings relevant to this process. Please contact the undersigned should you have any questions or comments in regards to the above-noted comments or related matters.

Yours truly,

MMM GROUP LIMITED

A handwritten signature in black ink that reads 'C.B. John-Baptiste'.

Chad B. John-Baptiste, MCIP, RPP
Senior Planner/ Senior Project Manager
Associate

cc: Sheryl Kotzer, Nizza Enterprises
Mark Flowers, Davies Howe Partners LLP

**TOWN OF GEORGINA****• PRESENTATION REQUEST FORM •**

For completion ten (10) days prior to the meeting

The Presentation Request Form and any written submissions and background information for consideration by Council must be submitted to the Clerk's Department personnel by the following deadline:

10:00 a.m. on the Monday ten (10) days prior to the Wednesday meeting

PLEASE PRINT CLEARLY:

NAME: LEO F. LONGO AIRD & BERLIS LLP

ADDRESS 181 BAY ST.
Street Address

TORONTO M5J 2T9
Town/City Postal Code

PHONE #: DAY: 416-865-7778 EVENING: _____

FACSIMILE #: 416-863-1515 E-MAIL ADDRESS: llongo@airdberlis.com

NAME OF ORGANIZATION OR PERSON(S) BEING REPRESENTED (if applicable):

NORTH GWILLIMBURY FOREST ALLIANCE (NGFA)

1) COUNCIL DATE you wish to attend:

SEPTEMBER 3 / 14

2) BRIEF SUMMARY OF THE PURPOSE OF YOUR PRESENTATION:

PLANNING DIRECTIONS REPORT - CHAPTER 10 - PROTOCOL

MAPLE LAKE ESTATES

SEE COVER LETTER

(over)



Presentation Request Form

-2-

- 3) HAVE YOU BEEN IN CONTACT WITH A TOWN STAFF MEMBER IN REGARD TO THE MATTER OF INTEREST? YES ☐ WITH WHOM _____
NO ☒

IF YES, outcome of your discussion: _____

- 4) DO YOU REQUIRE ANY EQUIPMENT FOR YOUR PRESENTATION? IF YES,
Please specify: DIGITAL PROJECTOR

- 6) DO YOU REQUIRE ANY ACCESSIBILITY ACCOMMODATION?
YES ☐ NO ☒

IF YES, what do you require? _____

- 7) REQUEST NOTIFICATION OF DECISION. YES ☒ NO ☐

NOTES:

The Presentation Request Form and supporting materials, presentations notes must be received by the Clerk's Department personnel no later than 10:00 a.m. on the Monday ten (10) days prior to the Wednesday meeting.

I confirm that I have read and understand the instructions and procedure and shall abide by the Presentation Procedures under the Procedural By-law 2013-0133.

Les F. Longo
Signature

August 22/14
Date

Personal information on this form will be used for the purposes of sending correspondence relating to matters before Council. Your name, address, comments and any other personal information is collected and maintained for the purpose of creating a record that is available to the general public in a hard copy format and on the internet in an electronic format pursuant to Section 27 of the Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c.M. 56, as amended. Questions about this collection should be directed to the Clerk's Department, Town of Georgina, 26557 Civic Centre Road, Keswick, ON L4P 3G1. Telephone 905-476-4301, Ext. 2223; Fax 905-476-1475.

AIRD & BERLIS LLP

Barristers and Solicitors

Leo F. Longo
Direct: 416.865.7778
E-mail: llongo@airdberlis.com

August 21, 2014

File No. 112062

By Email [pnash@georgina.ca] & Facsimile

Mayor & Council Members
Town of Georgina
26557 Civic Centre Road
R.R. #2
Keswick, Ontario L4P 3G1

Attn: Patricia Nash, Deputy Clerk

Your Worship & Members of Council:

Re: *Planning Directions Report*
Re: Maple Lake Estates
Re: September 3 Council Meeting – Presentation Request

We act on behalf of the North Gwillimbury Forest Alliance ("NGFA").

We hereby request the opportunity of making a presentation to Council on the above-captioned matters and enclose our completed Presentation Request Form.

Tony Usher, our client's planning consultant, has analyzed the June 4, 2014 *Planning Directions Report* prepared by the Town's planning consultant MHBC as part of the current Official Plan Review. He has submitted his comments on behalf of NGFA by letter of August 22, 2014 to MHBC and Town staff.

It is clear from Mr. Usher's analysis that the current intent of the *Planning Directions Report* is that Maple Lake Estates retain its Urban Residential Area designation, and not be subject to the no-development policies that conformity with the 2010 York Region Official Plan would dictate.

By way of an overview, according to the *Planning Act* of Ontario, the Town of Georgina is legally obliged to bring its Official Plan into conformity with the York Region Official Plan and be consistent with the Provincial Policy Statement, 2014 ["PPS"]. Specifically, the Town must amend the its Official Plan to prohibit development on all of the Town's wetlands and significant woodlands including those located on the Maple Lake Estates property in the North Gwillimbury Forest.

Despite this, MHBC and staff are recommending that the Town should ignore its *Planning Act* obligations if there will be an adverse financial impact on the owners of the

August 21, 2014
Page: 2

wetlands and significant woodlands (e.g., Maple Lake Estates Inc.). This recommendation is contrary to the law.

It is my respectful submission and request that as part of the Official Plan Review, Town Council direct MHBC and staff to develop as soon as possible amendments to the Town's Official Plan to bring it into conformity with the York Region Official Plan and ensure consistency with the Provincial Policy Statement, 2014.

As requested by our client, and further to Mr. Usher's submission, we have completed a review of chapter 10 of the *Planning Directions Report*, entitled "Protocol for the Review of Site-Specific Land Use Designations". We offer the following comments.

The initial paragraph correctly sets out that the Town's Official Plan ["OP"] review has "the objective of updating the document to implement provincial policy and the Regional Plan". That is indeed the Town's task... but as will be seen below, the Town staff is merely paying lip-service to this principle.

Furthermore, the second paragraph contains two fundamental errors:

- 1) it misapprehends and incorrectly states the legal "test" of the Official Plan review exercise; and
- 2) It takes into consideration matters that are not relevant to that exercise.

The Legal "Test"

The following subsections of the *Planning Act*, R.S.O. 1990, c. P.13, as amended, set out what the Town must be addressing in undertaking its OP review: 3(5); 26(1) & 27(1):

"Policy statements and provincial plans

3. (5) A decision of the council of a municipality, a local board, a planning board, a minister of the Crown and a ministry, board, commission or agency of the government, including the Municipal Board, in respect of the exercise of any authority that affects a planning matter,

- (a) shall be consistent with the policy statements issued under subsection (1) that are in effect on the date of the decision; and
- (b) shall conform with the provincial plans that are in effect on that date, or shall not conflict with them, as the case may be.

Updating official plan

26. (1) If an official plan is in effect in a municipality, the council of the municipality that adopted the official plan shall, not less frequently than every five years after the plan comes into effect as an official plan or after that part of a plan comes into effect as a part of an official plan, if the only outstanding appeals relate to those parts of the plan that propose to specifically designate land uses,

- (a) revise the official plan as required to ensure that it,

August 21, 2014

Page: 3

- (i) conforms with provincial plans or does not conflict with them, as the case may be,
 - (ii) has regard to the matters of provincial interest listed in section 2, and
 - (iii) is consistent with policy statements issued under subsection 3 (1);
- and
- (b) revise the official plan, if it contains policies dealing with areas of employment, including, without limitation, the designation of areas of employment in the official plan and policies dealing with the removal of land from areas of employment, to ensure that those policies are confirmed or amended.

Amendments to conform to official plan

27. (1) The council of a lower-tier municipality shall amend every official plan and every by-law passed under section 34, or a predecessor of it, to conform with a plan that comes into effect as the official plan of the upper-tier municipality." [emphasis added]

These sections **require** that there be consistency with the Provincial Policy Statement, 2014 ["PPS"] and conformity with the York Region's Official Plan.

The proposed protocol mentions that eliminating site-specific Official Plan designations may bring the OP "into closer compliance with upper tier documents". "Closer compliance" is not the legal test or the planning test... "consistency" and "conformity" are what the *Planning Act* requires... and what any Town protocol must ensure. Anything less is unlawful.

Irrelevant Considerations

The report states that "removing existing permission for land use can have serious implications for the land owners. In order to address these situations" the protocol has been proposed.

The rationale for the protocol is to address protecting private interests...not implementing the PPS and Regional Official Plan that was acknowledged in the initial paragraph as being the relevant goal of the OP review exercise. As such, the entire basis of the protocol is flawed.

The Town is required to implement provincial and regional policies. It is not given the discretion whether to do so.

In both (i) assessing the "serious implications for the land owners" of the potential effect of what it is legally required to do, and (ii) allowing that assessment to influence whether it does what it is legally required to do, the Town is taking into consideration factors that are subjective and irrelevant to the Official Plan review exercise.

August 21, 2014

Page: 4

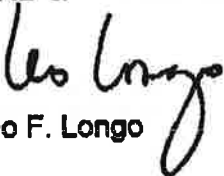
The first four recommended protocol criteria all propose to carry forward existing site-specific designations, and even the fifth and last criterion leaves the door open to doing so, regardless of what the PPS and/or Regional Plan policies state about that site. That is preposterous! Planning policies evolve and change over time to reflect current planning...and new policies can and do affect land that has already been developed.

Dealing specifically with Maple Lake Estates, what might have been designated in Georgina's OP three decades ago... and subsequently subdivided (into two lots) and partially serviced... does not make that property and servicing infrastructure immune from the application of current provincial and Regional planning policies and the *Planning Act*.

It is respectfully requested that Council instruct MHBC and Town staff to discard the proposed Section 10 Protocol, and instead ensure that all Official Plan Review recommendations regarding site-specific designations are based first and foremost on the Town's obligation to conform with the Regional Plan and be consistent with the PPS, as described above.

Yours truly,

AIRD & BERLIS LLP



Leo F. Longo

LFL/ek

cc. Jack Gibbons, NGFA
Tony Usher
Fraser Nelson, Metrus

19284301.1

Anthony Usher Planning Consultant

146 Laird Drive, Suite 105, Toronto, Ontario M4G 3V7

(416) 425-5964

auplan@bellnet.ca

August 22, 2014

Mr. Jim Dymont
MHBC Planning
113 Collier Street
Barrie, Ontario
L4M 1H2

and

Ms. Andrea Furniss
Town of Georgina
Keswick, Ontario
L4P 3G1

Dear Mr. Dymont and Ms. Furniss:

Re: Official Plan Review - Maple Lake Estates

I have reviewed the Planning Directions Report of June 4, 2014 and on behalf of my client, the North Gwillimbury Forest Alliance (NGFA), would like to express some concerns, all of which relate to the prospective designation of Maple Lake Estates (MLE).

I should add that I am pleased that the Town and MHBC have taken into account several of the concerns raised in my May 8, 2014 submission in response to the Planning Policy Review report.

Schedules B1 and B2 and Environmental Protection designation

Draft Schedule B1 appears to accurately represent the woodland mapping in the Regional Municipality of York Official Plan, and both schedules appear to accurately represent current wetland mapping.

It is not clear whether the "Natural Heritage System" shown on draft Schedules B1 and B2 (and A2) is the Greenbelt Natural Heritage System, or the Town's natural heritage system required by Policy 2.1.3 of the Provincial Policy Statement (PPS). If the former, the labelling on the schedules needs to be clarified. In either case, Section 4.2 of the report seems to suggest that the Greenlands System as there described would constitute the Town's natural heritage system, but this should also be clarified.

It appears from draft Schedules B1 and B2 and Section 4.2 that all features shown on both schedules, as well as vegetation protection zones and linkages, are proposed to be included in the base designation, Environmental Protection Area, shown on draft Schedule A2. If this is so, then all or almost all of MLE should receive that base designation, and likely all of MLE would form part of

the Town's natural heritage system when the Greenlands System overlay designation is taken into account. However, draft Schedule A2 suggests otherwise.

Schedule A2

This draft schedule shows a clear intent not to include MLE in the Town's natural heritage system, aside from some small areas subject to the "natural heritage system" overlay. This seems entirely contrary to the intent of Section 4.2 and draft Schedules B1 and B2, as well as the obligation to conform to the Regional Plan and be consistent with the PPS which I discuss below.

Section 4.16 of the report indicates a positive intent to maintain MLE as an Urban Residential Area, as shown on the draft schedule. I will discuss this further below.

Transfer of development approvals

As you know, there are prospects for an exchange that would terminate the existing development approvals at MLE and provide equivalent approvals at another location in Georgina. The only two plausible candidates at this point are lands owned by Maple Lake Estates Inc. between Deer Park Drive and Boyer's Sideroad, or additional density on lands owned by Metrus Development Inc. affiliates in South Keswick. My December 20, 2013 and March 20, 2014 submissions to you, as well as my May 29, 2014 letter to Harold Lenters, describe this in detail, including my preference for the South Keswick option.

I am pleased to see the reference in Section 4.2 of the report to a possible transfer, and agree that a policy reference in the Official Plan is desirable. However, "environmental constraints" should not be the only factor when considering alternative locations. Any such policy should refer to the full range of appropriate considerations, most recently summarized on page 1 of my May 29, 2014 letter. Such a policy should also make clear that any such transfer must be subject to the "comprehensive review" requirements of the PPS (Policies 1.1.3.8 and 1.1.6.4), if applicable (they would apply to the Deer Park-Boyer's option, but not the South Keswick option).

The reference to a transfer in Section 4.16 of the report is more ambiguous. It appears to suggest that any such policy reference should be deferred to a later date, and as such appears to conflict with the discussion in Section 4.2.

Draft Schedule D still shows an "area not to be serviced by municipal water & sewer", that includes one of the candidate exchange areas. My concern remains unchanged from my May 8, 2014 submission to you:

"This [designation] is not explained anywhere in the text. Presumably, this designation is intended to reflect Section 3.20.2.1 of the Official Plan. However, that policy is now in play, given the discussions about relocating MLE, possibly to a site within the 'area not to be serviced' (I am not in any way endorsing that site, as is made clear in my December 20, 2013 and March 20, 2014 letters to you). Regardless, it does not seem appropriate to show this designation . . . at this time.

"As well, Section 3.20.2.1 was understandable in the context of approval of MLE 25 years

ago. However, that was before comprehensive Provincial Policy Statements, the Growth Plan, the Greenbelt Plan, or the first Regional Plan. In today's planning environment, it is quite clear that establishing new serviced areas *anywhere in Georgina* beyond currently designated settlement areas could only proceed after the severest tests. Designating some rural lands in Georgina as 'not to be serviced' implies a lesser test for other rural lands, which seems to me contrary to all current policy."

As well, the "not to be serviced" designation appears to conflict with the references to possible transfers in Sections 4.2 and 4.16, given that it is well known that one of the candidate sites lies within the designation.

On the other hand, if the Town considers it appropriate to continue Section 3.20.2.1 of the Official Plan and represent it on Schedule D, then surely that underlines one of the key reasons why, in my view, the Deer Park-Boyer's site is not a suitable candidate.

Policy references to possible transfers are all very well as contingencies. However, the consummation of any transfer will be a complex process involving the completion of negotiations, the agreement of the affected owners, and the support of the Town, the Region, and in the case of the Deer Park-Boyer's lands, the Province. A transfer (particularly to South Keswick) is desirable, but it may prove impossible to achieve. Therefore, the Official Plan review process should not shirk its obligations to conform with the wetlands and significant woodlands policies of the Regional Plan, as referenced in my November 8, 2013 submission to you, with respect to Maple Lake Estates - and that is the focus of the rest of this letter.

The conformity obligation

NGFA's counsel, Leo Longo, and I have clearly outlined in past submissions, that the Town Official Plan and zoning bylaw are obliged to conform to the 2010 Regional Plan and that MLE is not in any way exempted from this obligation:

- ▶ In accordance with sections 26 and 27 of the *Planning Act*, the Town is obliged to bring its Official Plan and zoning bylaw into conformity with the applicable wetlands and significant woodlands policies of the Regional Plan, so as to prohibit development on most of the MLE property, despite the Regional Plan's designation of MLE as Towns and Villages (Longo-Usher response to Town information update, August 10, 2012, pp. 2-4; Usher report, December 19, 2012, pp. 1-3; Usher to Gibbons, February 1, 2013, p. 2; Longo to Council, February 19, 2013, p. 2; Longo to Council, March 25, 2013, pp. 2-5; Usher to Dymont and Furniss, November 8, 2013, pp. 1-2). In doing so, the Town must, of course, also be consistent with the PPS and conform with applicable provincial plans as per section 3(5) of the *Act*.
- ▶ There is nothing in the Transition policies (8.4.14 to 8.4.22) of the Regional Plan that indicates that the MLE property is in any way exempt from this conformity obligation (Longo-Usher response, August 10, 2012, pp. 2-4; Longo to Council, February 19, 2013, p. 5; Longo to Council, March 25, 2013, p. 6; Usher to Dymont and Furniss, November 8, 2013, p. 2).
- ▶ Section 5.2.1 of the Greenbelt Plan provides a transition policy for official plan and zoning bylaw approvals that predate the Plan, but does not require any municipality to continue to

recognize those approvals (Longo-Usher response, August 10, 2012, p. 3). I would add that a careful reading of the Plan suggests that this section does not even apply to MLE because it is designated Towns and Villages.

- ▶ Policies 8.4.24 and 8.4.25 of the Regional Plan carry forward the intent of Section 5.2.1 of the Greenbelt Plan (and it appears these policies do apply to MLE and other Towns and Villages). However, these policies are otherwise similar to Section 5.2.1. They do not require any municipality to continue to recognize pre-Greenbelt Plan official plan and zoning approvals. The only obligatory exemption is for subsequent implementing applications (for example, a site plan application). These policies do not appear to interfere with the conformity obligation in any way (Longo to Council, March 25, 2013, p. 6). I recognize that Regional staff interpret these sections and their implication for MLE differently (Shuttleworth and Konefat to Lenters, February 14, 2013), but for the above reasons, I do not agree with their interpretation.

Designations are not forever

The planner preparing or reviewing an Official Plan or zoning bylaw is required, first and foremost, to meet the applicable conformity obligation. However, there may be some individual situations where it is not entirely clear how to proceed consistent with that obligation, or there may be more than one possible approach that meets the conformity test. To that extent, it may be useful as part of a review process to develop guidelines to assist in recommending the most appropriate designation or zoning.

As part of such guidelines, where lands have been designated and/or zoned for development but development has not yet taken place, those approvals should not be removed lightly or without due consideration. However, the conformity obligation must first be met. Such guidelines cannot assume that approvals are inherently unchangeable. I offer the following points in support of that position, both generally, and specifically with respect to MLE.

- ▶ Section 10 of the Planning Directions Report, the protocol for the review of site-specific designations which I will discuss further below, exists because as the introductory paragraph says, "it is necessary to review these site-specific land use designations to determine if the permissions attached to them continue to be appropriate."
- ▶ Policy 1.1.2 of the PPS, plus complementary references elsewhere in the PPS and Greater Golden Horseshoe Growth Plan, indicate that 20 years is the generally accepted long-term planning horizon unless specifically indicated otherwise. The MLE Official Plan approvals have been in place for 26 years. An unused approval that exceeds the long-term planning horizon may no longer be relevant, and certainly should not be considered unchangeable.
- ▶ On June 11, 2004, Town planner Velvet Ross emailed Council members to let them know that by letter of May 18, 2004, the Ministry of Natural Resources had advised of its identification of provincially significant wetlands in the Town, including the expansion of the Paradise Beach-Island Grove wetland to include the majority of MLE. Regarding the implications for the MLE property, Ms. Ross advised Council that the Town had three options:
 - do nothing,
 - amend the appropriate B (Greenlands System) schedules of the Official Plan,

- in addition to amending the B schedules, redesignate the property to Environmental Protection Area 1, appropriately rezone the property, and "de-register" (under section 50(4) of the *Planning Act*) the plan of subdivision (which actions, she advised, would be strenuously opposed).

Ms. Ross advised that while this all required further consideration, "At some point, we will be required to make a decision as to how we intend to proceed with the updated wetland information as it affects all properties, and not just the Metrus property." Surely, after 10 years, that time has arrived.

The subsequent Ministry of Natural Resources letter regarding the wetland and MLE (Farrell to Nelson, October 18, 2004) "recognizes" the MLE two-lot plan of subdivision, though the Ministry had no particular authority to do so. However, the letter is silent on Official Plan and zoning bylaw issues.

- ▶ As well, the subdivision agreement between the Town and Maple Lake Estates Inc. provides that, at any time, it may be replaced with a new one if the Town so wishes. This provision was added in 1996 to the original 1990 agreement, presumably as a result of the Town's own doubts at that time about whether development would ever take place and whether the approvals would indeed be permanent.
- ▶ Leo Longo's February 19, 2013 letter to Council, at pp. 5-6, summarizes the many key changes in planning law and policy since the MLE approvals (to which can be added a fourth PPS, earlier this year). He concludes:

"Surely the time is now to study whether any or all of these developments, especially the [coming into force of the applicable Regional Plan provisions in 2012], might warrant a change in the designation and zoning of the MLE lands that were initiated three decades ago and have remained unexamined and unaltered since then."

The designations review protocol

I now return to the Planning Directions Report, to comment on the Protocol for the Review of Site-Specific Land Use Designations in Section 10.

Staff have advised me that the criteria have not yet been applied, and that the draft Schedule A2 reflects current designations without regard to screening through the criteria.

- ▶ The entire Protocol is flawed in that it seems to acknowledge conformity obligations only when, and to the extent that, it suits the authors. There does not appear to be any basis on which the use or inclusion of such a scheme in an official plan can mitigate the conformity obligation described above.
- ▶ In terms of planning priorities, the fundamental premise of all five criteria is flawed. For undeveloped lands, criterion 2's critical first hurdle is whether there is a "registered agreement on title establishing development rights", presumably a subdivision, consent, or site plan

agreement in most cases. The Protocol considers this to be more important than key natural heritage or key hydrologic features. However, a subdivision can be deemed not a subdivision after eight years. On the other hand, key natural heritage and hydrologic features are forever. As well, it is clear that the natural heritage protection policies of the PPS and (as noted by Mr. Longo in his March 25, 2013 letter) the Regional Plan are more directive than other policies, and should generally prevail.

- ▶ If and when the Protocol is applied to MLE, it would appear that criterion 2 would result in MLE's Urban Residential Area designation being continued. Of course, if there were no criterion 2, MLE would undoubtedly fall under criterion 5, and the Urban Residential Area designation would at the very least be reconsidered.

As well, concurrent with this letter, Mr. Longo is providing Council with his legal opinion (by letter, August 21, 2014) that the Protocol is flawed and should be rescinded.

Conclusions

Based on the approach advanced in Section 4.2 of the Planning Directions Report, and for the other reasons I have outlined above, all or almost all of MLE should be redesignated as Environmental Protection Area, subject to a no-development policy due to the presence of wetlands and significant woodlands.

Across the Town, the Official Plan should clearly direct that the zoning bylaw be amended to prohibit development in those portions of the Environmental Protection Area that consist of wetlands and significant woodlands, except where the Regional Plan dictates exemptions. On that basis, the zoning bylaw should prohibit development in almost all of MLE.

Please let me know if you need any further information or clarification.

Yours sincerely,

[original signed by]

Anthony Usher, MCIP, RPP



TOWN OF GEORGINA

•DEPUTATION/PRESENTATION REQUEST FORM•

The deputation/presentation request form and any written submissions and background information for consideration by either Council or Committee of the Whole meetings must be submitted to the Clerk's Department by the following deadline:

10. a.m. on the Monday 10 days preceding the meeting

PLEASE PRINT:

NAME:

Rev. Jim Keenan

ADDRESS P.O. Box 152, 23519 Weirs Sideroad
Street Address

Pefferlaw
Town/City

L0E1N0
Postal Code

PHONE #: DAY: 905-751-5335 EVENING: 705-437-3689

FACSIMILE #: 705-437-3689 E-MAIL ADDRESS:
revkeenan@gmail.com

NAME OF ORGANIZATION OR PERSON(S) BEING REPRESENTED (if applicable):

1) COUNCIL/COMMITTEE DATE:

Council Meeting September 3, 2014

2) BRIEF SUMMARY OF THE ISSUE OR PURPOSE OF YOUR DEPUTATION:

I request to depute to express concerns regarding the Planning Directions Report of June 4, 2014. Specifically, I have concerns with respect to the prospective designation of Maple Leaf Estates.

As outlined in submissions you will have received from Anthony Usher and Leo Longo, engaged by the North Gwillimbury Forest Alliance of which I am a director, the Town is

obliged to bring its Official Plan and zoning bylaw into conformity with the applicable wetlands and significant wetlands and significant woodlands policies of the Regional Plan so as to prohibit development on most of the MLE property.

I defer to their learned opinions with respect to the fact that the protocol with respect to Maple Leaf Estates is contrary to law. The concerns I will raise are the consistent lack of transparency and public engagement that has led to this sad state of affairs. My deputation and supporting documents are attached.

_____ ... 2

-2-

- 3) HAVE YOU BEEN IN CONTACT WITH A TOWN STAFF MEMBER IN REGARD TO YOUR MATTER OF INTEREST? YES _____
NO ☒

- 4) DO YOU REQUIRE ANY EQUIPMENT FOR YOUR DEPUTATION/PRESENTATION? IF YES,

please specify: NO ☒

- 6) DO YOU REQUIRE ANY ACCESSIBILITY ACCOMMODATION?

YES ☐ NO ☒

IF YES, what do you require? _____

NOTES:

The Deputation/Presentation Request Form including a copy of your presentation, notes, background information, etc., must be received by the Clerk's Department no later than 10. a.m. on the Monday 10 days preceding the meeting.

Mr. Mayor, members of Council, my deputation tonight is to express concerns regarding the Planning Directions Report of June 4, 2014. Specifically, I have concerns with respect to the prospective designation of Maple Leaf Estates.

I defer to their learned opinions of Leo Longo and Anthony Usher with respect to the fact that the protocol with respect to Maple Leaf Estates is contrary to law and best planning practices.

The concerns I will raise are the consistent lack of transparency and public engagement that has led to this sad state of affairs.

On June 11, 2004, Town planner Velvet Ross emailed Council members to let them know that by letter of May 18, 2004, the Ministry of Natural Resources had advised of its identification of provincially significant wetlands in the Town, including the expansion of the Paradise Beach-Island Grove wetland to include the majority of MLE. Regarding the implications for the MLE property, Ms. Ross advised Council that the Town had three options:

- do nothing,
- amend the appropriate B (Greenlands System) schedules of the Official Plan,
- in addition to amending the B schedules, redesignate the property to Environmental Protection Area 1, appropriately rezone the property, and "de-register" (under section 50(4) of the Planning Act) the plan of subdivision (which actions, she advised, would be strenuously opposed).

Ms. Ross advised that while this all required further consideration and decision. This was in June, 2004, over 10 years ago.

Until the Lenters' report presented to Council on March 2013, in response to the North Gwillimbury Forest Alliance's Request for an Interim Control Bylaw dated January 13, 2013, there do not appear to be any motions voted on by Georgina Town Council dealing with how to proceed given the new designations of these wetlands as provincially significant wetlands. On the public record, previous to 2013 there appear to be only staff reports on various matters with respect to these lands. There is no public discussion or engagement on the questions the Ross memo of June 2004 state require consideration and decision.

These is a dreadfully sad state of affairs. The questions in the Ross memo are questions that demanded public engagement and debate. Yet this Council, and those dating back to 2004 kept these questions from public scrutiny to as great a degree as possible.

This has led to what we have now in the protocol regarding the Maple Leaf Estates property proposed in the Planning Directions Report of June 4, 2014, almost exactly 10 years after the Ross memo was issued.

In it Council in effect is being asked to tell the owners of MLE something very similar to saying to someone, "Hey, you know and we know that knob and tube wiring are not allowed by the building code now. However we know that you have bought and incurred the cost of knob and tube wiring based on a building permit received over 30 years ago, and we don't want you to be out of pocket so we are going to allow you to use knob and tube wiring, even though we know it is illegal."

I do not believe my analogy here is hyperbole, but rather, what is exactly the thrust what is going on here.

Therefore, the only remedy to this sad situation is for this Council to do what is right, and do it right now-remove the protocol in the Planning Directions Report of June 4, 2014 as it pertains to the Maple Leaf Estates property- and thereby follow the laws of this province as well as adhering to best planning practices. The people you represent deserve no less.

Andrea Furniss

From: DAVID MOTT <momndad@rogers.com>
Sent: October-17-14 3:07 PM
To: Andrea Furniss
Subject: Mott property/ammendment

We are writing this letter to request that the committee will include our situation as part of the review for ammendments in regards to an inlaw apt. that has been here for 26 years. Our address is 326 Deer Park Dr. Roches Point, On.

This inlaw apt. about to help our daughter out at first and then over the years all of our children have lived there until they got on their feet(so to speak). At the present time our middle daughter, her husband and their 2 daughters are living there and have been for 12 years.

We have been property owners in Georgina for 45 years. We have raised our family here and now as they married they own homes in Georgina and are raising their families here.

At this point in time my husband and I are truing to prepare for the future and have things in order and to be able to do that we would really appreciate your consent for making an amendment during your review to make this apt. legal.

We would be most grateful.

Dave and Gloria Mott



Mostafa Fattah <mfattah@gmail.com>

Subject: RE: Consent B13-13: 23721 Highway 48, Baldwin

1 message

Mostafa Fattah <mfattah@gmail.com>

Tue, Oct 21, 2014 at 3:27 PM

To: Mamata Baykar <mbaykar@georgina.ca>, Tolek Makarewicz <tmakarewicz@georgina.ca>

2365643 Ontario Inc
1450 Midland ave, #220
Toronto, ON
M1P 4Z8

Dear All

As signing authority for 2365643 Ontario Inc. (being the property owner), I am requesting: (1) closure of the associated zoning amendment; and, (2) that the Town remove the site-specific Official Plan policies (i.e. Sec. 3.6.4.2, Sec. 3.10.4.1 and Sec. 3.13.4.1) enacted through the approval of OPA 104 (approved by York Region on September 18, 2009).

Yours Truly,

Mostafa Fattah -President
2365643 Ontario Inc
1450 Midland Ave, #220
Toronto, ON
M1P 4Z8
416-275-2351

Oct 21/2014

November 21, 2014

Andrea Furniss
Senior Planner, Planning and Building
Town of Georgina
26557 Civic Centre Road
R.R. #2 Keswick, ON L4P 3G1

sent via email

**RE: Upcoming Official Plan Review
Policy implications for electricity generation facilities and transmission and
distribution systems**

FOTENN Consultants Inc. has been retained by Infrastructure Ontario (IO) and Hydro One Networks Inc. (HONI) to review draft Official Plans and Zoning By-laws across Ontario to ensure that hydro corridor lands are protected for their primary intended use, the transmission and distribution of electricity, while also facilitating appropriate secondary land uses.

Infrastructure Ontario is the strategic manager of the provincial government's real property, which includes hydro corridor lands, and has a mandate of maintaining and optimizing value of the portfolio. Hydro One Networks Inc. jointly manages the hydro corridors owned by the Province with IO and is involved in the planning, construction, operation, and maintenance of their transmission and distribution network.

The Provincial Policy Statement (PPS) (effective April 30, 2014) provides direction with respect to electricity transmission and distribution facilities. In particular, PPS Section 1.6 provides specific direction for municipalities to maintain the primacy of hydro corridor lands for the transmission and distribution of electricity throughout the province. The relevant PPS Sections include:

1.6.1 Infrastructure, electricity generation facilities and transmission and distribution systems, and public service facilities shall be provided in a coordinated, efficient and cost-effective manner that considers impacts from climate change while accommodating projected needs.

Planning for infrastructure, electricity generation facilities and transmission and distribution systems, and public service facilities shall be coordinated and integrated with land use planning so that they are:

- a) financially viable over their life cycle, which may be demonstrated through asset management planning; and*
- b) available to meet current and projected needs.*

1.6.8.3 Planning authorities shall not permit development in planned corridors that could preclude or negatively affect the use of the corridor for the purpose(s) for which it was identified.

New development proposed on adjacent lands to existing or planned corridors and transportation facilities should be compatible with, and supportive of, the long-term purposes of the corridor and should be designed to avoid, mitigate or minimize negative impacts on and from the corridor and transportation facilities.

1.6.11.1 Planning authorities should provide opportunities for the development of energy supply including electricity generation facilities and transmission and distribution systems, to accommodate current and projected needs.

The purpose of this letter is to proactively advise you of our preferences as it relates to zoning provisions and policy wording in advance of your municipality's Official Plan and/or Zoning By-law review. We respectfully request that the following items be considered during these reviews and incorporated into your draft documents:

1. All reference to corridors used for the transmission and distribution of electricity should be referred to as:

"hydro corridors"

2. All reference to electricity infrastructure and facilities should be referred to as:

"electricity generation facilities and transmission and distribution systems"

3. All references to "Hydro One Networks Inc." should include the entire name and should not be shortened to "Hydro One". References to "Ontario Hydro" should be replaced with "Hydro One Networks Inc."

4. Due to the fact that electricity generation facilities and transmission and distribution systems may be required in any location, we request the following policy/regulation:

"Electricity generation facilities and transmission and distribution systems are permitted in all designations/zones subject to any regulatory requirements for the utility involved".

5. In order to provide clarity with respect to the types of secondary uses that are possible on hydro corridor lands, in accordance with the Provincial Secondary Land Use Program, we request the following wording to be added in Official Plans:

"Secondary uses, such as active and passive recreation, agriculture, community gardens, other utilities and uses such as parking lots and outdoor storage that are accessory to adjacent land uses, are encouraged on hydro corridor lands, where compatible with surrounding land uses. However, a proponent should be aware of the primacy of the

electricity transmission and distribution facilities and that secondary uses require technical approval from Hydro One Networks Inc.”

This wording will also streamline the number of municipal planning approvals that a proponent must seek when they apply to HONI/IO for a secondary use. Additional information on the Provincial Secondary Land Use Program can be found at the following link: <http://www.infrastructureontario.ca/What-We-Do/Lands/Provincial-Secondary-Land-Use-Program/>

6. When policies and regulations specify that utility wires/cables should be buried, we request that the following wording be used:

*“the burial of wires/cables for local electricity **distribution** purposes will be required only where possible and will be at the expense of the developer or proponent”.*

Where applicable, IO and HONI do not want to be responsible for the costs associated with burying wires/cables for local electricity distribution providers. Please note that the burial of wires for electricity **transmission** purposes is not feasible.

7. When policies and regulations specify that utilities should be screened, we request that the following wording be used:

“the screening of electricity generation facilities and transmission and distribution systems will be at the expense of the developer or proponent.”

IO and HONI do not want to be responsible for the costs associated with screening electricity generation facilities and transmission and distribution systems.

8. When policies and regulations are developed to address future transportation corridors, we request that the following wording be used:

“planning for future transportation corridors should be undertaken in consultation with affected stakeholders including Hydro One Networks Inc. and Provincial Agencies.”

9. For Zoning By-laws, we request that electricity generation facilities and transmission and distribution systems not be subject to lot coverage, setback and yard requirements. We are of the opinion that the establishment of setbacks is up to the discretion of the appropriate organization (e.g. Provincial Ministry, utility provider, etc.).

10. We request that any required setbacks from pipelines not apply to electricity generation facilities and transmission and distribution systems. Pipeline easements are often located in hydro corridors and we do not want any restrictions placed on the location of new or replacement hydro facilities/infrastructure or compatible secondary uses within the corridor.

We request that you keep Infrastructure Ontario and FOTENN Consultants Inc. informed of your Official Plan and Zoning By-law review processes so that we have the opportunity to comment further on matters related to hydro corridors and electricity generation facilities and transmission and distribution systems. Infrastructure Ontario is also interested in reviewing and providing input on proposed policies that relate to other provincial lands in your municipality, if applicable, and would do so under separate cover at the time of an update/review.

We thank Staff for considering our recommendations. Please contact us if you have any questions. Contact information is as follows:

Jordan Erasmus, MCIP, RPP
Senior Planner
Infrastructure Ontario
1 Dundas St. W., Suite 2000
Toronto, ON M5G 2L5
Tel: 416.327.8018 | Fax: 416.212.1131
Jordan.Erasmus@infrastructureontario.ca

Nadia De Santi, MCIP, RPP
Senior Planner
FOTENN Consultants Inc.
223 McLeod Street
Ottawa, ON K2P 0Z8
Tel: 613.730.5709 x248
desanti@fotenn.com

Sincerely,



Jordan Erasmus, MCIP, RPP
Senior Planner

- c. Patrick Grace, IO
Peter Reed, IO
Enza Cancilla, HONI
Julie Carrara, FOTENN
Dennis De Rango, HONI

INFRASTRUCTURE ONTARIO LAND USE PLANNING TEAM



WHAT IS INFRASTRUCTURE ONTARIO?

Infrastructure Ontario is a crown corporation wholly owned by the Province of Ontario. It plays a critical role in supporting the Ontario government to modernize and maximize the value of public infrastructure and real estate, manage government facilities and finance the renewal of the province's public infrastructure.

WHO WE ARE

- Land Use Planners and Urban Designers
- Registered Professional Planners and Members of the Canadian Institute of Planners
- Part of Infrastructure Ontario's Development Planning Department in the Real Estate and Lending Division

OUR ROLE

- We **enhance** the value of government property by providing strategic recommendations for future use, leveraging the planning approvals process, and conducting comprehensive due diligence.
- We **protect** the value and operation of MOI-owned property by responding to proposed land use changes from external stakeholders (e.g. comment on third party development applications or respond to a municipality's proposal to amend its Official Plan)

WHAT WE DO

Core Functions

- Conduct land use approvals process to support value enhancement and government accommodation
- Manage consulting teams with expertise in planning, design, engineering, market analysis, natural and cultural heritage
- Optimal Use Studies – conduct and evaluate new development options for government property
- Planning reviews of municipal and third party planning activity that may impact government property
- Due diligence studies – lead background research to help inform government projects
- Special government accommodation requests – provide site selection and due diligence support

Supporting Functions

- Stakeholder engagement with internal and external parties
- Conceptual designs (2D & 3D) to illustrate development options
- Information mapping to summarize key project issues
- Project manage projects on behalf of various IO departments and initiatives
- Procure new planning related projects



For more information contact:

David Macey

Vice President, Development Planning
Email: david.macey@infrastructureontario.ca
Tel: 416.212.7890

Peter Reed

Manager, Land Use Planning
Email: peter.reed@infrastructureontario.ca
Tel: 416.326.0904

Andrea Furniss

From: Corinne Cooper <corinnecooper@rogers.com>
Sent: November-26-14 8:53 PM
To: Andrea Furniss
Subject: Official Plan amendment request

Hello Andrea.

My husband and I would like to open a new business in the Town of Georgina. We would like to purchase a rural property and erect a barn, either new or refurbished, which will be operated as a rustic barn venue, targeted mainly towards weddings.

The barn will include a dance floor, bar area, washrooms, prep kitchen, dj booth and seating for approximately 150 guests. Also on the property will be an area for parking, an outdoor patio and a separate area with a pergola for outdoor weddings.

We are currently requesting an amendment to the Official Plan of the Town of Georgina to include a business of this nature, allowing a rustic barn venue, to be erected and operate in an RU designation.

We appreciate your help and request that we be kept informed as to any updates or progress.

Thank you again,

Corinne Cooper & Dean Crandon

905-596-1221

Michael Smith

Planning Consultants;
Development Coordinators Ltd.

461 The Queensway South, Suite 3
Keswick, Ontario L4P 2C9
Tel. (905) 989-2588
Fax (905) 989-2488
info@msplanning.ca
www.msplanning.ca

Friday, December 5th, 2014

Andrea Furniss, MCIP, RPP.
Senior Planner
Town of Georgina
26557 Civic Centre Road. RR #2
Keswick, ON.,
L4P 3G1

Dear Ms. Furniss:

Re: Town of Georgina's Official Plan Review
Existing Land Use Designation
4463 Baseline Road, Part of Lot 23, Concession 6 (N.G.)
Owner - Barry and Sharon Crate
Beneficial Owner - Doug Blackborow

TOWN OF GEORGINA	
DEC 05 2014	
PLANNING & BUILDING DEPARTMENT PLANNING DIVISION	
REFER	NOTED
FILE #	

Our File: 1014-00

Several weeks ago you and I had a telephone conversation regarding the above noted property. In our conversation I advised that our firm had a client interested in purchasing the subject land to establish an autobody garage. I also advised you that the subject land was currently designated "*Rural Industrial Area*" in the OP and zoned "*General Industrial (M2)*" in the zoning by-law. During the conversation I expressed a concern with the client's purchase of the property given that the land is not utilized for an industrial use and the proximity of potential environmental features.

My concern is the potential for the Town to remove the existing land use designation through its OP review process while the client is preparing required plans and reports in support of a site plan approval application. You advised that the subject land was one of several properties that the Town is going to have further discussions on with the LSRCA. My understanding is that the discussions are to determine the appropriate steps in moving forward (i.e. removal of designations, retaining designations or refining designations).

On Thursday, December 4th, 2014, myself, the beneficial owner, current land owners, real estate agent and building consultant met with Town and LSRCA staff on a pre-consultation basis to discuss the plans, reports and studies required in support of the proposed development. As indicated at the meeting the pre-consultation process is the first step in obtaining a development approval for the subject land.

During the meeting the LSRCA raised a potential issue with watercourses on the subject land. The current owner advised that the watercourses were diverted and the property filled some time ago under a Town issued fill permit with LSRCA clearance (LSRCA clearance attached). In that regard, after the pre-consultation meeting an impromptu site visit was conducted with the staff. It was determined and agreed during the site visit that the watercourses are no longer located on site. Further it was determined that much if not all of the area outside of the land that was filled would be considered a wetland. Lastly, it seemed to be the consensus that there was sufficient land for the proposed development within the portion

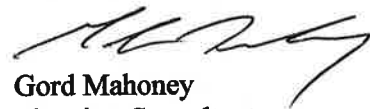
of the property that had been filled and outside the LSRCA's 30m setback. It should be noted that the LSRCA wants to confirm the permit under which the filling was completed.

In addition to the above, the current property owner advised that he does operate a small industrial use out of the detached garage located behind the dwelling. When Mr. Crate moved to the property he operated a boat repair business in which he repaired boat hulls and boat covers. He no longer operates this business but he does do some small scale metal fabrication from the same garage.

Given the above information and the fact that the potential purchaser has started the first step in the approval process, we ask that consideration be given to maintaining the existing land use designation and zoning of the property through the Town's official plan review process.

Please do not hesitate to call me if you have any questions.

Regards,



Gord Mahoney
Planning Consultant

Copy Barry and Sharon Crate - Owner
 Doug Blackborow – Beneficial Owner
 Velvet Ross – Manager of Planning
 Tolek Makarewicz – Area Planner
 Sara Brockman – LSRCA Planner
 Gord Bell – Acton Group
 Wayne Winch – Real Estate Agent



Our File No.: GS.2004.014

To:

Date:

March 3, 2004

Debora Buok
Chief Building Officer
Town Of Georgina
26557 Civic Centre Road
RR#2 Keswick, Ontario, L4P 3G1

Tel: 905-895-1281
1-800-465-0437
Fax: 905-853-5881
E-Mail: info@lsrca.on.ca
Web: www.lsrca.on.ca

**120 Bayview Parkway
Box 282
Newmarket, Ontario
L3Y 4X1**

Subject:

Barry Crate
4463 Baseline Road
Placement of fill to raise lot and
in-fill three existing ponds.

Location:

**Part Lot 23, Concession 6
Town Of Georgina (NG)**

Septic file
119-821

The above noted file has been reviewed by this office. Please be advised of the following:

- ☐ Part of the subject property is regulated by this Authority, however, as the proposed works shown on the attached plan are situated outside of the regulated area, they do not require a permit from this Authority.
- ☐ The type of work shown on the attached plan does not require a permit from the Conservation Authority.
- ☒ The subject property appears not to be regulated by the Conservation Authority. Therefore, a permit is not required from this Authority to further develop the property.

CA.

Leaders In

Watershed

Health

Brook Piotrowski

Environmental Planner/

Engineering Technologist

Greg Wells

Environmental Planner

Jennifer Best

Environmental Planner


Craig Cooper

Environmental Planner

ENGINEERING EXPLANATION SUBMISSION ON THE

Engineering Notes:

- Existing drainage paths of adjoining lands shall not be altered.
- Excess excavated material shall be removed from lot.

TOWN OF GEORGINA ENGINEERING DIVISION	
REVIEWED	REVISE AND RESUBMIT
REVIEWED AS MODIFIED	SUBMISSION
THIS REVIEW IS FOR THE SOLE PURPOSE OF ASCERTAINING CONFORMANCE WITH GENERAL DESIGN CONCEPTS. RESPONSIBILITY FOR ERRORS AND OMISSIONS SHALL REST ON THE PERSONS SUBMITTING THIS DWG.	
BY 	DATE MAR 3/04

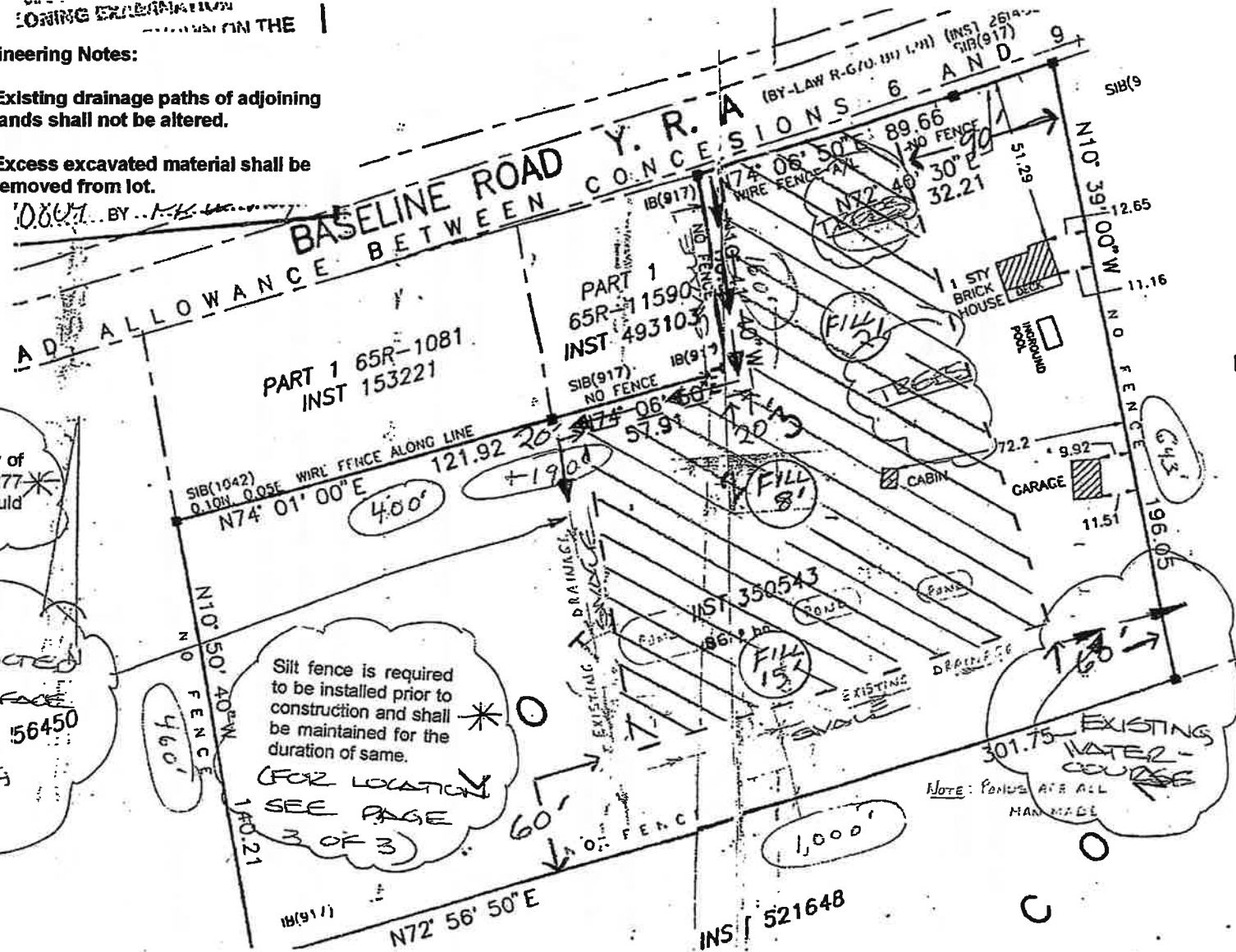
PAGE 1 OF 3

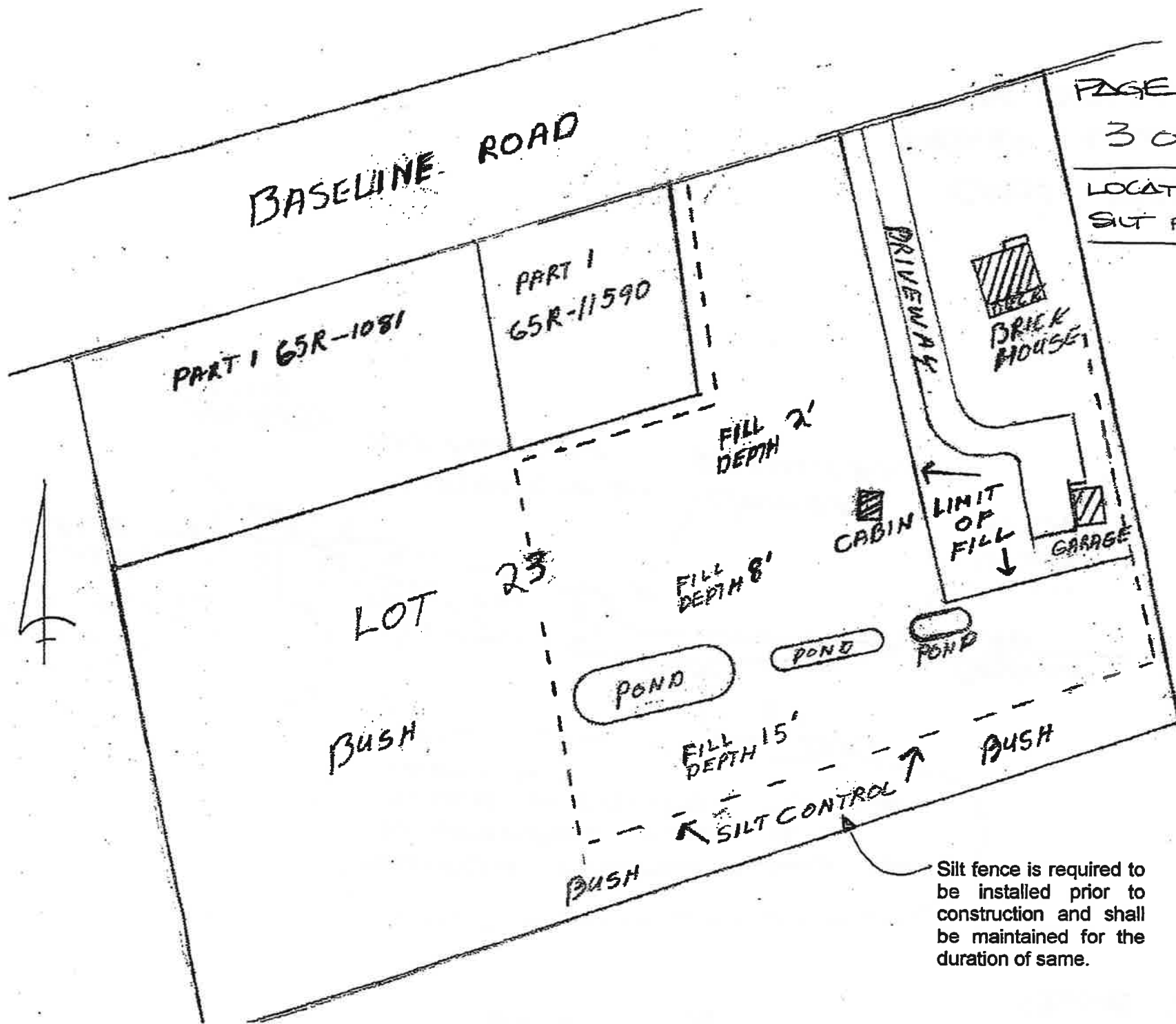
* Please contact the Regional Municipality of York (905) 895-1200 Ext. 5204 or 5277 with regards to the Tree By-Law, should any tree removal be required.

DRAINAGE SWALES SHALL BE CONSTRUCTED TO INTERCEPT SURFACE FLOWS AND DIRECT SAME TO EXISTING WATERCOURSE

Silt fence is required to be installed prior to construction and shall be maintained for the duration of same.

(FOR LOCATION SEE PAGE 3 OF 3)

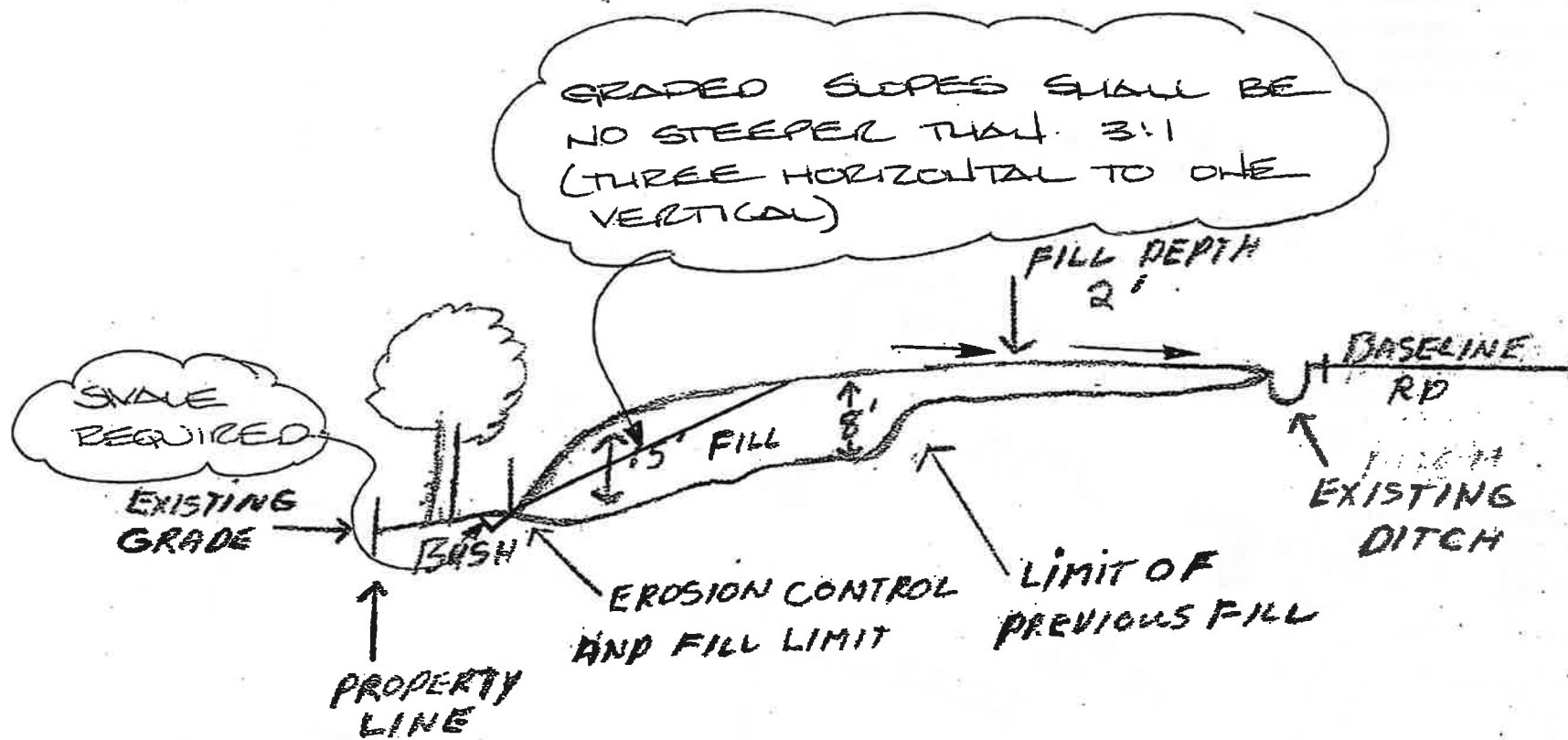




Silt fence is required to be installed prior to construction and shall be maintained for the duration of same.

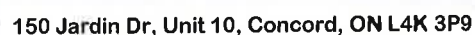
DIAGRAM ②

PAGE 20



CROSS SECTION
THROUGH LINE A-A
OF DIAGRAM 1

TOWN OF DEERHOLM	
FEB 06 2015	
PLANNING & ZONING REPRESENTATION PLANNING DIVISION	
REFER	NOTED
Andrea F. R/E OPR	Hue
association represent	
FILE #	





Building Tomorrow's Heritage Neighbourhoods Today: Masonry and Sustainable, Healthy Communities





Masonry Products and Sustainable, Healthy Communities

Municipalities are tasked with land use control guided by Official Plans and Zoning Bylaws. These land use control mechanisms can include policies requiring site plan control and standards for new development. This report outlines the evolution of site plan control and how municipalities can more effectively use site plan control and design guidelines as a means to improve new development across all settlement areas of a municipality including: the aesthetic, character, sustainability, liveability, assessment, and climate change adaptability. It also recommends the wider use of masonry as a core element to achieve these objectives.

The Evolution of Site Plan Control

Site plan control has been around for some 40 years and has been used extensively for commercial, industrial and multi-residential developments. Site plan control was originally applied to understand the relationship of a proposed development on the land on which it is located including, the setback or location of buildings, parking areas, access, and how it is serviced.

Over the years, site plan control has evolved and there is greater attention to the aesthetic of the proposed development and how it will integrate with the surrounding uses, sustainability matters including site services and understanding what public realm improvements can be achieved.

With this evolution, building elevations and exterior treatment of buildings including architectural treatments, and the type of building materials have become just as important considerations as the building placement on the land and site servicing; and now aesthetics such as landscaping and public realm improvements and sustainability are also being given greater consideration.

The application of site plan control on a much



wider range of development projects including small infill developments, single lot residential developments, public spaces, and context sensitive developments such as the development of heritage properties have also become more common. To municipalities, this means that it is becoming more valued to have site plan control applied broadly throughout a municipality in both urban and rural settlement areas and to all forms of residential, commercial, industrial, and institutional developments.



The Evolution of Design Guidelines

This evolution of site plan control, has led to the use of design guidelines to inform site plan control review.

Design guidelines have become more detailed and are used as the tool to provide standards relating to sustainability, building placement and articulation, building materials, energy conservation, and public realm improvements, among other matters.

The rationale for site plan control beyond the logistics and details of the site development is the understanding that the exterior built form is important in developing an inviting, safe, and sustainable community. Building communities is based on ideals of walkability, sustainability, quality public realms, and built forms that will provide high quality environments in which people can live, work, and play.

Strong urban design guidelines that emphasize the quality of the built environment are the best tool available to regions, cities, and towns to ensure that their communities are truly sustainable and are inviting places to live.

As the densities of communities increase the quality of the built environment and aesthetics of the buildings will become even more important. As such, the front facade of buildings should no longer be considered the only public realm of a building requiring aesthetic considerations. The side and rear facades of buildings are equally important.

Additionally, with the emphasis on increased density and more efficient land use there is

increased need for sound attenuation. Built areas are inherently noisy and will become noisier with increased density, increased traffic, and increased systems to control our homes and buildings.

Reducing the impact of noise on the living environment is best achieved through the use of building materials that are effective noise isolators.

Building healthy, sustainable, complete communities also means using materials that are resilient and can withstand the effects of climate change, including extreme heat and cold, and other extreme weather events. Resilient exteriors too require less maintenance, maintain neighbourhood property values and tax assessment, and can be repurposed or re-used for generations creating an enduring community character, instead of tearing buildings down and building new ones.

In order to ensure the future sustainability of communities and to create places where people want to live and work, and can do so comfortably, it is important to build buildings that are energy efficient, can withstand extreme conditions, are durable and resilient, and provide quality indoor and outdoor living environments.





Why Masonry?

Wider use of masonry in green field development meets the needs of municipalities for sustainable, healthy communities due to their attributes including:

- the durability of the product to withstand extreme weather;
- the minimal amount of maintenance it requires to help maintain property values and therefore tax assessment;
- the longevity of the product to build communities that last, stand the test of time, and build long-term community character;
- its widespread aesthetic appeal and versatility;
- its ability to help regulate the internal temperature of a building in extreme temperatures reducing the energy consumption required to heat and cool the building;
- reduces waste during construction, can be reused and recycled;
- has the sound attenuation properties more suitable for higher densities; and,
- is non-combustible improving fire safety for higher densities reducing the potential for widespread damage and loss of life in a neighbourhood should there be a fire.



Mechanisms For Implementing The Use of Natural Materials Such as Masonry

Municipalities have the mandate and the tools for encouraging the use of sustainable materials in the design of buildings. The following discusses how the use of sustainable building materials, in particular, masonry products is consistent with the Provincial Policy Statement (PPS) and the Planning Act section that provides municipalities with the power to establish building design criteria.

The Ontario Planning Act gives municipalities the authority to request and approve building elevations limited to building mass and conceptual design.

1. The Planning Act provides municipalities with the ability to articulate the acceptable exterior elevations of buildings through site plan control; and
2. Official Plan policies can set out site plan criteria for new development and Urban Design guidelines by which new development should comply.

Section 41 (4) of the Planning Act provides that no person shall undertake any development in an area designated for site plan control unless the council of the municipality has approved among other items:

1. Plans showing the location of all buildings and structures to be erected and showing the location of all facilities and works to be provided in conjunction therewith and of all facilities and



works required as conditions of approval at no expense to the municipality, including facilities designed to have regard for accessibility for persons with disabilities.

2. Drawings showing plan, elevation and cross-section views for each building to be erected, which drawings are sufficient to display,
 - a) the massing and conceptual design of the proposed building;
 - b) matters relating to exterior design, including without limitation the character, scale, appearance and design features of buildings, and their sustainable design, but only to the extent that it is a matter of exterior design, if an official plan and a by-law passed both contain provisions relating to such matters are in effect in the municipality;
3. Site Plan Control for a residential building that contains less than 25 residential units can be required where the Official Plan policies specifically provide for this.

Therefore municipalities have the authority through site plan control and the implementation of urban design guidelines to address the exterior building elements of most new buildings in a community.



Masonry in Relation to the Provincial Policy Statement

The use of masonry as an exterior building element addresses and supports several policies and objectives of the PPS.

Part I: Preamble "The Provincial Policy Statement provides policy direction on matters of provincial interest related to land use planning and development...It also supports the provincial goal to enhance the quality of life for all Ontarians."

The PPS defines development as: means the creation of a new lot, a change in land use, or construction of buildings and structures requiring approval under the Planning Act, but does not include:

1. activities that create or maintain infrastructure authorized under an environmental assessment process;
2. works subject to the Drainage Act; or
3. for the purposes of policy 2.1.4(a), underground or surface mining or minerals or advanced explorations has the same meaning as under the Mining Act. Instead, those matters shall be subject to policy 2.1.5(a)



Policy Guidance of the PPS

1.1.3.3 Intensification and redevelopment shall be directed in accordance with the policies of Section 2: Wise Use and Management of Resources and Section 3: Protecting Public Health and Safety.

The Provincial Policy Statement focuses on how land use planning and development impact climate change, the long-term impacts of development, creating appealing urban environments, reducing waste, and using natural resources wisely while curtailing the impact of development on the natural environment. The use of masonry products in the building of our communities addresses these policy objectives.

1.7.1 Long-term economic prosperity should be supported by:

- d) encouraging a sense of place, by promoting well-designed built form and cultural planning, and by conserving features that help define character, including built heritage resources and cultural heritage landscapes;***

Masonry products are traditional building materials that maintain a sense of place and contribute to a well-designed built form for green field residential, infill residential and commercial development.

Much of Ontario's built heritage is built with masonry products. The longevity of the product, its enduring character and the sense of place of many of the province's municipalities comes from the masonry architecture. Conserving this cultural heritage can and should be viewed from a municipality-



wide perspective rather than segmenting it into small heritage districts of the past. Municipalities today are building the heritage features of their communities tomorrow.

Because of the durability of masonry products, masonry buildings and structures are also candidates for adaptive re-use which contributes to conserving features that define the character of an area. Both brick and stone materials are aesthetically pleasing, durable, and low maintenance. Exterior walls weather well, eliminating the need for constant refinishing and sealing.

- i) promoting energy conservation and providing opportunities for development of renewable energy systems and alternative energy systems, including direct energy;***

Masonry products are less prone to waste. Designers can maintain the rigour of modular dimensions, reducing cutting of units on site. Plus, any remaining waste on a construction site can be recycled for example, as landscaping.

Interior use of brick and stone can also provide excellent thermal mass, or be used to provide radiant heat. Some stone and brick makes an



ideal flooring or exterior paving material, cool in summer and possessing good thermal properties for passive solar heating.

j) minimizing negative impacts from a changing climate and considering the ecological benefits provided by nature;

Because of the durability of masonry and masonry structures, masonry buildings can withstand the rigor of weather and impacts from extreme wind, rain, heat, ice storms and cold, thereby addressing impacts from climate change.

The mass of brick, block, natural and manufactured stone can provide thermal storage (also known as thermal mass) that can moderate a building's temperature. Masonry can store heat energy and slowly release it, keeping the building cooler during the day and warmer at night, utilizing the benefits of nature. Masonry products are natural building materials derived from materials readily and easily available in the earth and are generally categorized as bricks, block & stone. These products can either be used for structural construction or as a façade treatment on top of other structural materials.

The masonry products exhibit optimal or better performance in terms of energy efficiency, construction waste management, durability and sustainability when used as a structural element as opposed to just a façade treatment.

1.8.1 Planning authorities shall support energy conservation and efficiency, improved air quality, reduced greenhouse gas emissions, and climate change adaptation through land use and development patterns which: promote design and orientation

which maximizes energy efficiency and conservation, and considers the mitigating effects of vegetation;

Brick, block and stone are proven to provide energy savings of up to 13% by regulating temperature fluctuations and keeping homes cooler in summer and warmer in winter which contributes to energy efficient homes and energy conservation.

Municipalities concerned about the quality of development in their communities can develop urban design guidelines that require the use of natural materials on the exterior of the building across their entire community.





Urban Design is concerned with the following: designing buildings and the spaces between them; managing the built environment both new and existing; meeting the needs of the developers and the users of the urban environment; coordinating the various design disciplines to achieve a team approach to urban development; and, encouraging sustainability. Good urban design seeks to create a safe, functional and attractive built environment. To achieve these goals the following policies are recommended.

Proposed Official Plan Policies

- Use the same detail and design consideration on all sides of the building. Materials should turn corners to extend beyond the façade. Avoid exposed edges that could cause a jarring material change and artificial appearance.
- The entire municipality shall be subject to site plan control with the exception of agricultural development.
- Residential development containing less than 25 units shall be subject to site plan control.
- Building materials should be chosen for their functional and aesthetic quality, sustainability, ease of maintenance, long-term durability, and match with the cultural heritage of the overall community.
- Street facing façades should have the highest design quality. Materials used for the front façade should be carried around the building where any façades are exposed to the neighbouring/public view at the side or rear.
- Facing materials consisting of high quality, natural materials, particularly masonry, should be used wherever possible. Side and rear façades should have a design and materials standard equal to the front façade treatment.
- Site designs that conserve energy will be encouraged. Energy conservation will be addressed at the development application stage and during the preparation of building and site designs. Buildings should be designed, oriented, constructed and landscaped to minimize interior heat loss and to capture and retain solar heat energy in the winter and to minimize solar heat penetration in the summer. The use of natural materials, particularly masonry, in the construction of buildings is strongly encouraged both as structural elements due to their thermal mass properties and as exterior facing for buildings due to their environmental sustainability.
- Use brick, stone and engineered stone as the preferred cladding materials. Other materials, such as stucco, wood, metal, decorative concrete or glass may be considered based on design merit and when used in combination with the preferred materials.





ALDERVILLE FIRST NATION
P.O. Box 46
11696 Second Line
Roseneath, Ontario K0K 2X0

Chief:	James R. Marsden
Councillor:	Dave Mowat
Councillor:	Julie Bothwell
Councillor:	Angela Smoke
Councillor:	Jody Holmes

February 24, 2015

Town of Georgina
26557 Civic Centre Rd.,
Keswick, Ontario
L4P 3G1

Att: Andrea Furniss, Senior Planner - Policy

Re: Town of Georgina Official Plan Review

Dear Andrea,

Thank you for the information to Alderville First Nation regarding the **Town of Georgina Official Plan Review** which is being proposed within our Traditional and Treaty Territory. We appreciate the fact that **Town of Georgina** recognizes the importance of First Nations Consultation and that your office is conforming to the requirements within the Duty to Consult Process.

Please keep us apprised of any further developments and any environmental impacts during construction, should any occur. I can be contacted at the mailing address above or electronically via email, at the email address below.

In good faith and respect,

Dave Simpson
Lands and Resources

dsimpson@aldervillefirstnation.ca

Communications Officer
Alderville First Nation

Tele: (905) 352-2662
Fax: (905) 352-3242

RECEIVED MAR 06 2015

SYLVETTE BROWN
23621 PARK ROAD
PEPPERLAW, ON L0E 1N0

FEBRUARY 27, 2015

THE CORPORATION OF THE TOWN OF GEORGINA
26557 CIVIC CENTRE ROAD
KESWICK, ON L4P 3G1

(f) 905.476.8100 and Regular Mail

Attn: Town Clerk

THE CORPORATION OF THE REGIONAL MUNICIPALITY OF YORK
17250 YONGE STREET,
NEWMARKET, ON L3Y 6Z1

(f) 905.895.3768 and Regular Mail

Attn: Regional Clerk
MUNICIPAL PROPERTY ASSESSMENT CORPORATION
P.O. BOX 9808
TORONTO, ON M1S 5T9

(f) 1.866.297.6703 and Regular Mail

Attn: Assessor (Region 14)

LAKE SIMCOE REGION CONSERVATION AUTHORITY
120 BAYVIEW PARKWAY, BOX 282 STREET
NEWMARKET, ON L3Y 4X1

(f) 905.853.5881 and Regular Mail

Attn: Director

DEAR CLERKS and DIRECTOR:

Re: Ministry of Natural Resources/ON Maps of Zephyr Egypt Wetland Complexes 2014.09.ST
Environmental Mapping for Lot 7W Concession 2 (Georgina) Property Roll
No. **19-70-000-012-76100 0000** and Partial Mapping of Neighbouring Properties
2015 Amendment to Georgina's Official Plan
2015 Base Year for MPAC's Incremental Assessment Increase

The attached two Maps now provided from the Ministry of Natural Resources are updates and additions to the Provincially Significant Zephyr Creek Wetlands Complexes at-and-around 23621 Park Road, Property Roll No. 1970 000 012 76100 Town of Georgina, Regional Municipality of York. These Maps should form part of the Official Plan at both levels of municipal government.

As property owner of 23621 Park Road I am in agreement with the content and accuracy of these two Maps. It is to be realized additional ANSI information pertains to the Wetland Complexes and restrictions on man-made intrusions to maintain their environmental integrity for further generations.

It is to be further remembered that the ANSI information must now form part of all present and future applications as to Georgina's *Official Plan* Land Mapping etc., Municipal Property Assessment and Property Valuation.



SYLVETTE BROWN

ZEPHYR-EGYPT WETLAND COMPLEX ROLL# 197000001276100



Scale 1:3,000 (approx.)



0 30 60 120 180 240 Metres

Legend

-  MNR Evaluated Wetland
-  MNR Identified Wetlands
-  Subject Lands
-  Parcel Fabric
-  S17 Wetland Vegetation Community

PUBLICATION

© Queen's Printer for Ontario
Printed in Ontario, Canada
February, 2015.

Cartography by Aurora District
Geomatics.

Universal Transverse Mercator
(6 degree) projection, Zone 17,
North American Datum 1983

SOURCE OF INFORMATION

Information provided by the Ministry of Natural Resources district office in Aurora,
Ministry of Natural Resources - Aurora District 50 Bloomington Road West, Aurora, ON L4G 3G8

Base information derived from the Ontario Base Map, 1983 at a scale of
1:10,000 and the Natural Resources Values Information System (NRVIS).

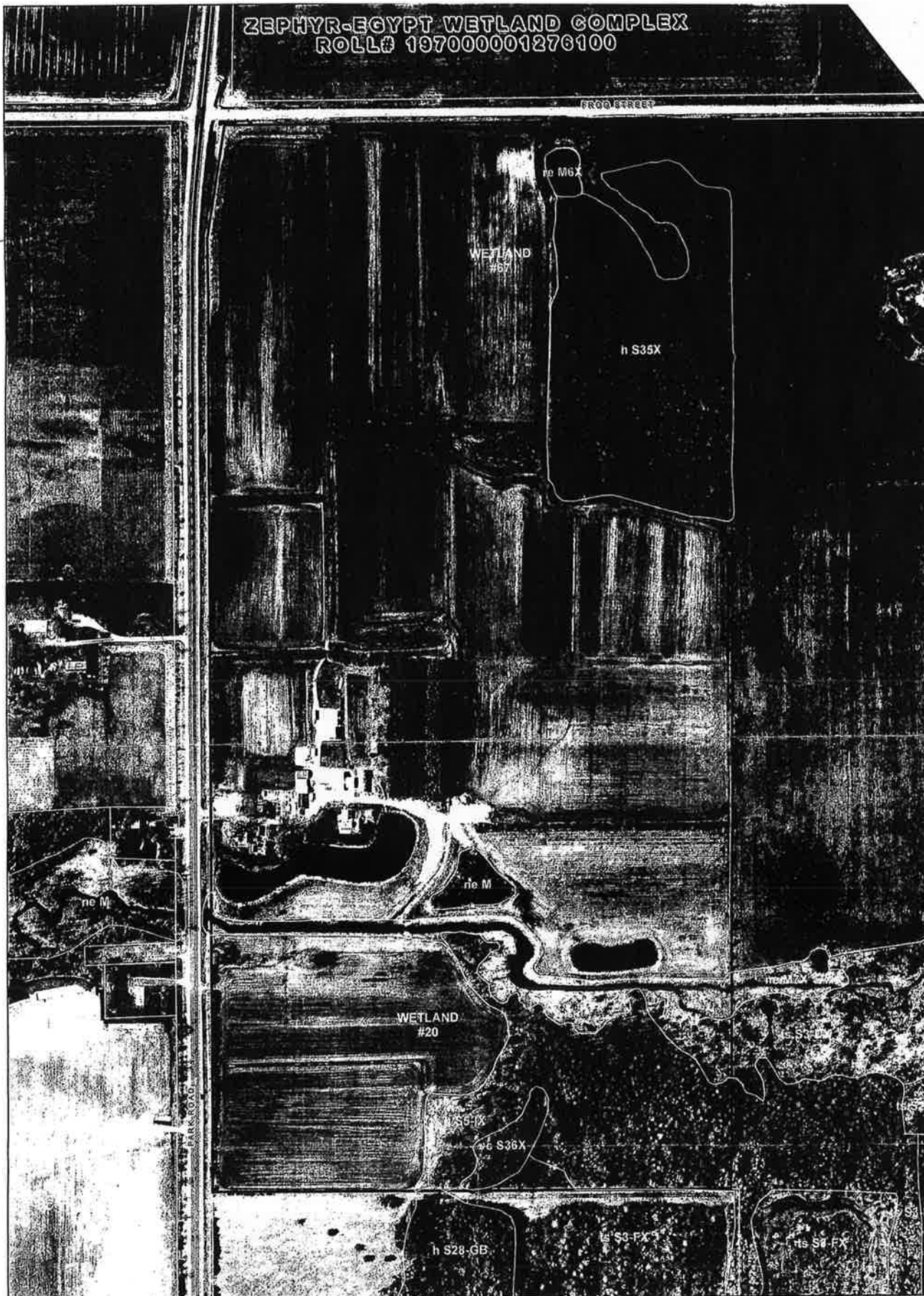
NOTE

The information displayed on this map has been compiled from various sources. While every effort has
been made to accurately depict the information, this map should be viewed as illustrative only. Do not
rely on it as being a precise indicator of routes, locations of features, nor as a guide to navigation.

For detailed information on natural features such as their location, size or status, the individual files
held by the Aurora district office of the Ministry of Natural Resources should be consulted.

Imagery capture date Spring 2013 copyright, J.D. Barnes and Land Information Ontario

ZEPHYR-EGYPT WETLAND COMPLEX ROLL# 197000001276100



Scale 1:3,000 (approx.)



0 25 50 100
Metres

Legend

- MNR Evaluated Wetland
- MNR Identified Wetlands
- Subject Lands
- Parcel Fabric

© S17 Wetland Vegetation
Community

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Imagery capture date Spring 2013 copyright, J.D. Barnes and Land Information Ontario

Official Plan Review - Written Submissions

No.	Date	Contact	Property	Comments	Recommendation
1	10-May-12	Louis & Richard Hui 235 Yorkmills Rd. North York, ON	5692 Smith Blvd.	Request to include property within Baldwin Hamlet boundary	Portion of property included in Baldwin Hamlet boundary (See attached Request #11 air photo and proposed Hamlet designation)
2	8-Nov-13	Anthony Usher Planning Consultant (for North Gwillimbury Forest Alliance) 146 Laird Dr. Suite 105 Toronto, ON M4G 3V7 (416) 425-5964 auplan@bellnet.ca	OP Study Area	Official Plan policies should: a) prohibit development in wetlands within the North Gwillimbury Forest (NGF) lands b) prohibit development in woodlands within the NGF that are determined to be significant based on the criteria in the Regional Plan c) provide clear direction to ensure that the Zoning By-law will be amended to conform to these policies d) no exemptions from these policies beyond what is required by the York Region Official Plan e) extend Official Plan policies to protect all wetlands and significant woodlands through out the review area	The Draft Official Plan (DOP) includes a Greenlands System and Environmental Protection Area designation and policies that implements the York Region Official Plan, Greenbelt Plan and Lake Simcoe Protection Plan
3	2-Dec-13	Dave Mowat Community Consultation Specialist Mississaugas of Scugog Island First Nation dmowat@scugogfirstnation.com	OP Study Area	Town should adhere to the archaeological management planning process undertaken by York Region	Policies addressing Regional Official Plan Amendment No. 6 for lands that contain archaeological potential have been included in the DOP A new policy has also been incorporated into the DOP stating that the York Region Archaeological Management Plan should be consulted as a resource to identify and conserve archaeological resources
4	4-Dec-13	Grant Morris Grant Morris Associates Ltd. 397 Sheppard Ave. Pickering, ON L1V 1E6	1794 Metro Road North	Include property for development in whole or in part, or do not make a decision until the Environmental Impact Study currently being undertaken is completed	Do not support incorporating any portion of the property into the service area boundary or permitting development on private services (property is entirely in the Greenlands System and the majority of the property is in the proposed Environmental Protection Area designation) of the DOP (See attached Request # 4 air photo)
5	10-Dec-13	Howard Friedman HBR Planning Centre 66 Prospect Street, Unit A Newmarket, ON L3Y 3S9	OP Study Area	No specific requests were made. General comments included an interest in the Official Plan Review, particularly any policies speaking to providing a basis for the Secondary Plan areas and the incorporation of Greenbelt Plan policies and its impact on infrastructure	Policies have been incorporated into the DOP regarding policies that should be included in Secondary Plans. The Greenbelt Plan's infrastructure policies have also been incorporated into the DOP

No.	Date	Contact	Property	Comments	Recommendation
6	11-Dec-13	Keith MacKinnon KLM Planning Partners Inc. (for Metrus Development) 64 Jardin Dr., Unit 1B	Maple Lake Estates (MLE)	Existing development rights should continue to be recognized as part of the OP Review	No change proposed to the existing Urban Residential Designation, as it conforms with the York Region Official Plan and the Greenbelt Plan. However, there has been one change made to the associated policies, which now indicates that any Official Plan amendment application to revise the special provisions for the proposed Maple Lake Estates planned retirement community shall consider the policies of the Greenbelt Plan, York Region Official Plan, Growth Plan for the Greater Golden Horseshoe and the Lake Simcoe Protection Plan as amended from time to time, and will be required to consider the functions, attributes and linkages of the significant natural features as identified on the Schedules of this Official Plan (previous policy referenced the Town's Natural Features and Greenlands System Study, 1996)
7	11-Dec-13	Margaret Downes 79 Polva Promenade Udora, ON L0C 1L0	Polva Promenade Udora	Town should improve private lanes that have been abandoned by their original developers and should be, at a minimum, improved to the status of "unassumed road", similar to Estonian Rd.	The Town will be undertaking a study of the unassumed roads in the Town.
8	20-Dec-13	Anthony Usher Planning Consultant (for NGFA) 146 Laird Dr. Suite 105 Toronto, ON M4G 3V7 (416) 425-5964 auplan@bellnet.ca	OP Study Area MLE Lands	<p>Maple Lake Estates exchange - any new alternative should be reviewed against PPS policy 1.1.3.9, Growth Plan policy 2.2.8 and YR OP policy 5.1.12</p> <p>Equivalent approvals should be for lands in Keswick and if not then abutting Keswick</p> <p>1) How do the Town and MHBC propose to address the prospective MLE exchange within the OP Review?</p> <p>2) What steps will be taken to ensure that within the OP review, the consideration of alternative locations is not limited to the lands identified by Metrus, and also includes other options in or abutting Keswick?</p> <p>3) Within the OP Review, when and how do the Town and MHBC propose to inform the public about the current populations of, and updated population allocations among the various centres and areas?</p>	<p>The Official Plan Review does not deal with any land development rights exchanges. A land development rights exchange in relation to Maple Lake Estates is an ongoing process between the Town, Province, York Region, Lake Simcoe Region Conservation Authority and other stakeholders. In order to facilitate any development rights exchange, the Greenbelt Plan and the York Region Official Plan must be amended during the review of those documents, before the Town's Official Plan can be amended.</p> <p>The public was informed of current populations of and updated population allocations among the various centres in the Policy Directions Report (which was presented at Council, Public Workshop #2 and at the Hamlet Open Houses). The population distributions for the various areas of the Town to 2031 are also within the DOP</p>

No.	Date	Contact	Property	Comments	Recommendation
10	23-Jan-14	Ken and Joan Rogers jrbenefit@gmail.com	Part of Lot 1, Con 5 3588 Ravenshoe	Expand the Ravenshoe Hamlet boundary to the east to Kennedy Road (farm parcel too small)	Not supportive of including property into Ravenshoe Hamlet boundary. Including this property would not be considered minor rounding out, as it is a 48 acres parcel that could be considered a major expansion in the context of the existing size of the Ravenshoe Hamlet. In addition, the Hamlet Open House for Ravenshoe had many public members indicating that they do not want to see significant development (See attached Request #10 air photo and Hamlet map)
11	11-Feb-14	Stafano Giannini 148 Kenwood Avenue Toronto, ON M6C 2S3 (416) 656-6665 ext.62 (647) 204-0482 sgiannini@irstudio.ca	5692 Smith Blvd.	Similar request to #1 (new landowners) Incorporate portion of lands (15 acres) into Hamlet of Baldwin	Expand Baldwin Hamlet boundary to include portion of property (15 acres) into the Baldwin Hamlet. Given the relative size of Baldwin and existing development pattern, this is considered reasonable minor rounding out (see attached Request #11 air photo and proposed Hamlet designation)
12	24-Feb-14	Anthony Usher auplan@bellnet.ca	OPR Study Area	Population breakdown required for rural, hamlet, shoreline and Maple Lake Estates	Population charts have been revised to provide a further population breakdown of the numbers. These charts are also included in the DOP
14	10-Mar-14	Gwendolyn Ward	OPR Study Area	OP policies should incorporate the kinds of lighting that are recommended to reduce/eliminate unnecessary lighting as more development comes into the area	Sustainability objective added that speaks to reducing light pollution in order to preserve the night sky New subsection added on "Dark Sky Policies"
15	20-Mar-14	Anthony Usher Planning Consultant 146 Laird Drive Suite 105 Toronto, ON M4G 3V7	OPR Study Area Maple Lake Estates	The best option for an MLE development approvals exchange would be to provide equivalent development approvals on lands owned by Metrus affiliates in South Keswick, over and above the level of residential development currently permitted or contemplated there	The Official Plan Review does not deal with any land development rights exchanges. A land development rights exchange in relation to Maple Lake Estates is an ongoing process between the Town, Province, York Region, Lake Simcoe Region Conservation Authority and other stakeholders. In order to facilitate any development rights exchange, the Greenbelt Plan and the York Region Official Plan must be amended during the review of those documents, before the Town's Official Plan can be amended.
16	21-Mar-14	Gary Foch garyfoch@rogers.com	Business Park Study Area 22869 Woodbine	Prepare policies to allow for this "gateway property" to accommodate anything reasonable on the subject site (i.e. professional office, bank etc.)	Premature to include requested policies. The property is in the Keswick Business Park Study Area and subject to a number of studies and requirements (See attached Request #16 air photo) Business Park Study Area overlay designation will remain in new OP to provide an opportunity for the landowner to make a case to the Province

No.	Date	Contact	Property	Comments	Recommendation
16 Cont.					to refine the limits of the Natural Heritage System through the review of the Greenbelt Plan (Air photo provided)
17	24-Mar-14	Ron Foster (in-person)	Conc.5, Part of Lot 2	Would like the ability to build a house on property, which is currently not permitted	A dwelling is not permitted on the property due to a zoning restriction that was placed on the property as a condition of a severance that occurred several years ago. A Zoning By-law amendment (and potentially other planning approvals) would be required in order to permit a dwelling on the property (See attached Request #17 air photo)
18	17-Apr-14	Gwendolyn Ward (Comments primarily from discussion with group at public workshop)	OPR Study Area	<p>High standards and policies regarding building permit requirements on residents doing renovations should also apply to developers</p> <p>Prefer a family focus rather than "housing affordability" Focus on attracting families and middle class</p> <p>Not supportive of Town's current policy of acquiring more waterfront (parking issues, current areas can be fixed up first). Residents unsure whether current waterfront parks generate revenue or whether tax payers front the costs</p> <p>Ground maintenance should happen more frequently (weeding, landscaping)</p> <p>No further development on waterfront lands</p> <p>Town needs to improve property standards enforcement</p> <p>There are no boundaries in nature or in the water and as a result protection of the lake needs to be considered in the built up area as well</p>	<p>Residents and developers are both subject to the requirements of the Ontario Building Code</p> <p>Housing affordability policies are required under the Provincial Policy Statement and the York Region Official Plan. Policies focus on providing a range and mix of housing types.</p> <p>Official Plan speaks to acquiring additional waterfront lands where appropriate and economically feasible, in order to service needs of existing and future residents and visitors.</p> <p>This is not an issue that can be addressed in the Official Plan</p> <p>Proposed policies that speak to development on waterfront lands require strict criteria to be met prior to development in accordance with the Lake Simcoe Protection Plan and the Greenbelt Plan</p> <p>This is not an issue that can be addressed in the Official Plan</p> <p>Policies have been incorporated from Provincial Plans that provide for a balance between the protection of environmental features and to allow for existing development to continue or potentially expand</p>

No.	Date	Contact	Property	Comments	Recommendation
18	Cont.			<p>North Gwillimbury Forest should be kept intact and in regards to the land exchange, new development should be within Keswick and not on a new satellite urban space</p> <p>Need connections between green spaces and the lake</p> <p>Need job creation in the Town but unsure how it will occur without defined goals and concerted efforts to attract the kinds of employers that the public feels would be a good fit Town should focus on projects/future employers who fit with Georgina's unique environment and focus on nature and outdoor spaces, environmental, green building etc. -> should be reflected in the vision</p>	<p>The Official Plan Review does not deal with any land development rights exchanges. A land development rights exchange in relation to Maple Lake Estates is an ongoing process between the Town, Province, York Region, Lake Simcoe Region Conservation Authority and other stakeholders. In order to facilitate any development rights exchange, the Greenbelt Plan and the York Region Official Plan must be amended during the review of those documents, before the Town's Official Plan can be amended.</p> <p>The proposed Official Plan incorporates a Greenlands System that is largely composed of lands that contain key natural heritage features and key hydrologic features. The system also includes other lands that serve as linkages, corridors and adjacent lands</p> <p>Staff agree that job creation should be a focus but the vision statement is intended to be a general statement of what the Town would like to achieve in the future (does not detail specifics)</p>
19	8-May-14	Anthony Usher	OPR Study Area Maple Lake Estates	Comments on Planning Policy Review Report, particularly in relation to the environmental policies and Maple Lake Estates	Staff and the consultant have reviewed the submission and believe the new Official Plan accurately addresses the upper-tier policy documents in relation to the environmental policies
20	29-May-14	Anthony Usher	Maple Lake Estates	Comments to support opinion that the best option for a Maple Lake Estates development approvals exchange would be to provide equivalent approvals on lands owned by Metrus affiliates in South Keswick, over and above the level of residential development currently permitted or contemplated there	The Official Plan Review does not deal with any land development rights exchanges. A land development rights exchange in relation to Maple Lake Estates is an ongoing process between the Town, Province, York Region, Lake Simcoe Region Conservation Authority and other stakeholders. In order to facilitate any development rights exchange, the Greenbelt Plan and the York Region Official Plan must be amended during the review of those documents, before the Town's Official Plan can be amended.

No.	Date	Contact	Property	Comments	Recommendation
21	18-Jul-14	Chad B. John-Baptiste (for Sheryl Kotzer) MMM Group Ltd.	Business Park Study Area 2354 Ravenshoe Rd.	Currently revising "Preliminary Floodplain Investigation Report" to LSRCA Support for Town direction to maintain study area to allow time to justify the refinement of the NHS limits Will be providing input into the Greenbelt Plan Review through York Region	Business Park Study Area overlay designation will remain in new OP to provide an opportunity for the landowners to make their case to the Province to refine the limits of the NHS through the review of the Greenbelt Plan (See attached Request #21 air photo)
22	21-Aug-14	Leo F. Longo (for North Gwillimbury Forest Alliance) Aird & Berlis LLP Brookfield Place 181 Bay Street, Suite 1800, Box 754 Toronto, ON M5J 2T9 llongo@airdberlis.com	OPR Study Area	In order to be in conformity with the York Region Official Plan, the Town must amend its Official Plan to prohibit development on all of the Town's wetlands and significant woodlands including those located on the Maple Lake Estates property in the NGF The protocol utilized by the Town to review site-specific land use designations is flawed and should not be utilized	Staff and the consultant have reviewed the submission and believe the new Official Plan accurately addresses the upper-tier policy documents in relation to the environmental policies The protocol was supported by the Steering Committee and presented to Council with no changes made
23	22-Aug-14	Anthony Usher	OPR Study Area Maple Lake Estates	Comments provided on Planning Directions Report (i.e. majority of MLE lands should be in EPA designation, protocol to review site specific designations is flawed)	Staff and the consultant are of the opinion that the existing Urban Residential Area designation conforms with York Region Official Plan and Greenbelt Plan The protocol was supported by the Steering Committee and presented to Council with no changes made
24	3-Sep-14	Jim Keenan 23519 Weirs Sideroad P.O. Box 152 LOE 1N0	OPA Study Area	Town required to follow the laws of the Province and adhere to best planning practices. The protocol outlined in the Planning Directions Report should not be utilized in the review of site-specific land use designations (Maple Lake Estates used as an example)	Staff and the consultant are of the opinion that the existing Urban Residential Area designation conforms with York Region Official Plan and Greenbelt Plan The protocol was supported by the Steering Committee and presented to Council with no changes made
25	17-Oct-14	David Mott	326 Deer Park Rd.	Property currently contains an apartment within a detached accessory structure. Requesting that policies in the OP allow for this to be a permitted use so that the apartment can become legalized without having to obtain planning application approvals	Property is in the Serviced Lakeshore Residential Area designation - not recommending accessory apartments in detached accessory structures in the lakeshore areas. The Town's consultant has advised against this due to a number of issues that have occurred in other waterfront communities that have permitted

No.	Date	Contact	Property	Comments	Recommendation
25 Cont					this (i.e. the detached structure in other communities was not utilized as a form of affordable housing but is rented as a vacation home, resulting in conflicts in certain circumstances (i.e. noise)) (See attached Request #25 air photo)
26	21-Oct-14	Mostafa Fattah mfattah@gmail.com	23721 Highway 48	Remove site-specific official plan policies to allow go-kart operation (Sec.3.6.4.2, 3.10.4.1 and 3.13.4.1)	Site specific policies have been removed
27	13-Nov-14	Gord Mahoney (no written submission) Michael Smith Planning Consultants 19027 Leslie Street P.O. Box 1010 Sharon, ON L0G 1V0 905-478-2588		OP Land Use A schedule contains error in Keswick Secondary Plan boundary - line going west along Old Homestead goes too far east - includes 3/4 of property that is not indicated in the Keswick Secondary Plan Land Use map	Staff will be correcting this mapping error in the new schedules
28	21-Nov-14	Infrastructure Ontario	OPR Study Area	Recommended policy wording	The suggested recommendations have been incorporated into the Plan (a few of the recommended policies have been slightly revised)
29	26-Nov-14	Corinne Cooper	Rural Designation	To permit a barn venue (catered primarily towards weddings) in the Rural designation	A barn venue to be utilized for weddings would be permitted in the Rural Area if it is secondary to the principle agricultural use of the property. If there is not a primary agricultural use on the property, the rural policies may still allow for the use subject to an Official Plan Amendment (to permit a rural commercial use)
30	5-Dec-14	Gord Mahoney Michael Smith Planning Consultants	4463 Baseline Rd.	Maintain existing land use designation on the property (Rural Industrial)	LSRCA reviewed this property. Designation will be refined to remove features, however a building envelope will still be available (See attached Request #30 air photo)
31	30-Jan-15	Judy Pryma MasonryWorx 150 Jardin Dr. Unit 10 Concord, ON L4K 3P9	OPR Study Area	Recommended site plan control and urban design policies Recommended specific policies in regards to building materials	Site plan control and urban design policies are including in the Official Plan The Official Plan does not outline preferred building materials
32	6-Mar-15	Sylviette Brown 23621 Park Road Pefferlaw, ON L0E 1N0	23621 Park Road	Ensure that MNR revised Zephyr-Egypt wetland complex is shown accurately in mapping	The LSRCA is reviewing the hydrological features/wetland mapping to ensure it is accurate

Ravenshoe Rd

32

3568

66

3558

Request #10

3593

3613

Report No. PB-2015-0025
Attachment '7'
Pages 9 of 17

Town of Georgina

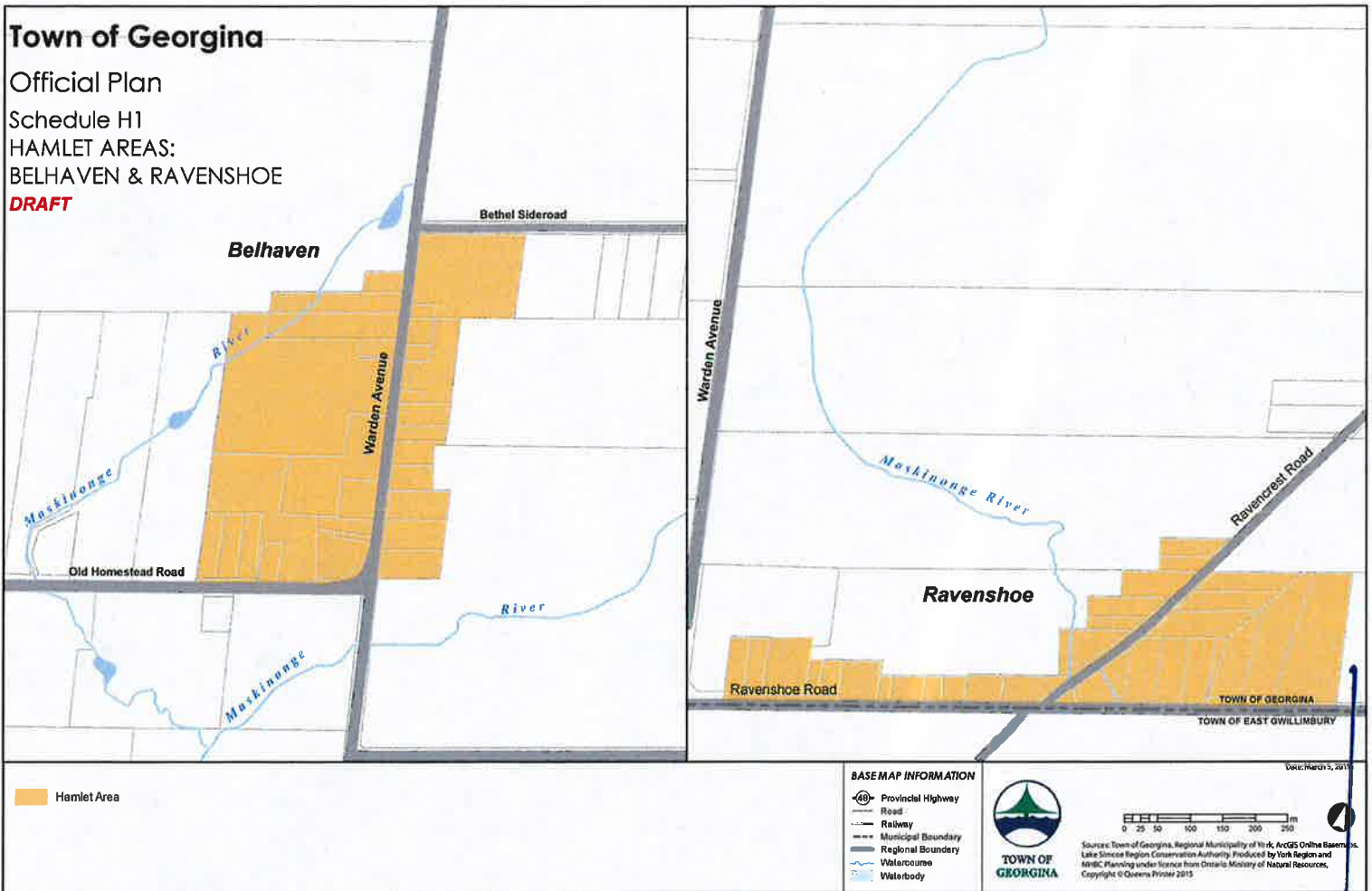
Official Plan

Schedule H1

HAMLET AREAS:

BELHAVEN & RAVENSHOE

DRAFT



Request
#10

Request #11

State Blvd

24516

24428

5639

5643

5702

5706

5665

5714

5673

5686

5724

Report No. PB-2015-0025
Attachment '7'
Pages 11 of 17

Town of Georgina

Official Plan

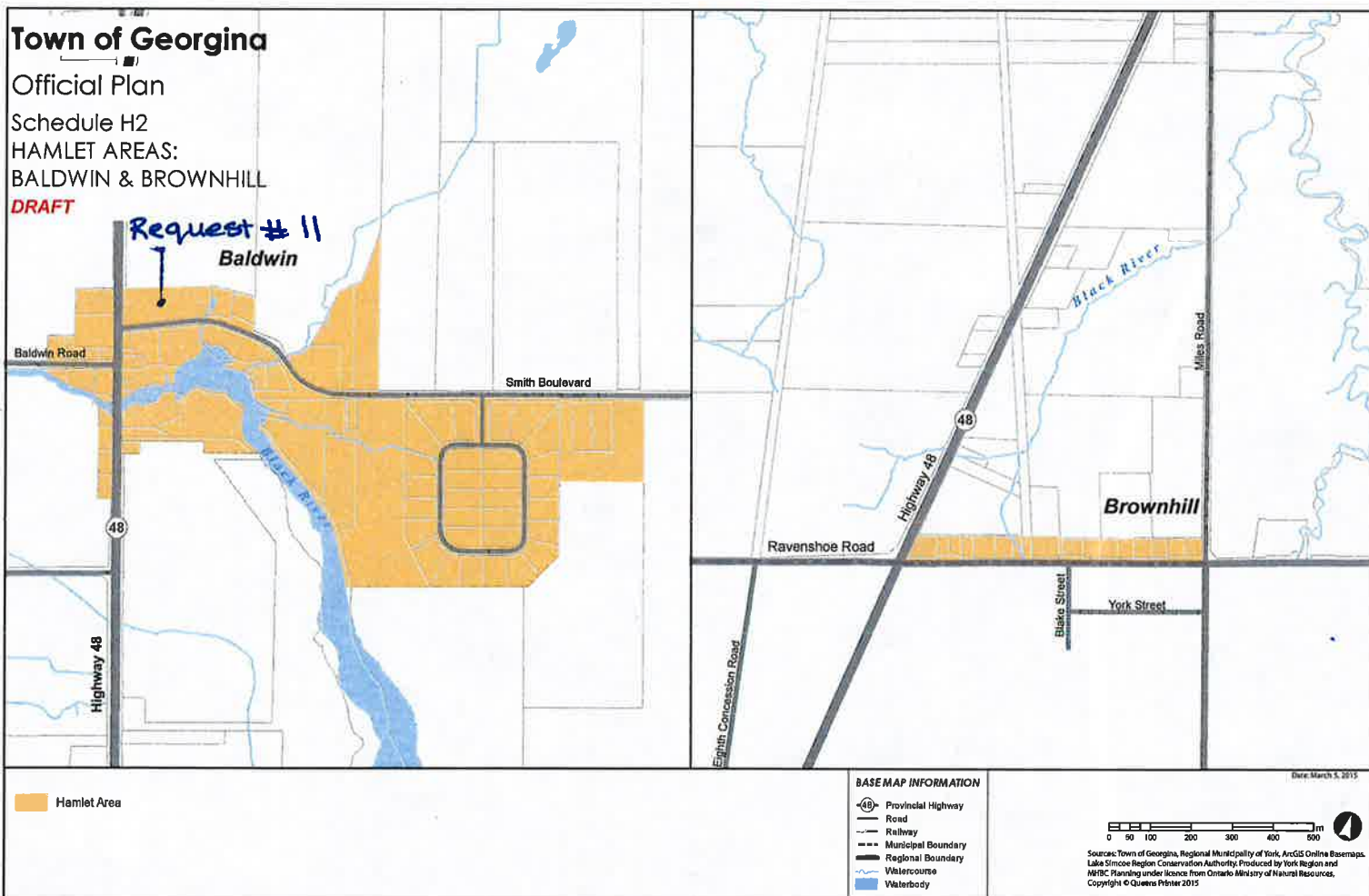
Schedule H2

HAMLET AREAS:

BALDWIN & BROWNHILL

DRAFT

Request # 11
Baldwin





Report No. PB-2015-0025
Attachment '7'
Pages 13 of 17

Request #17





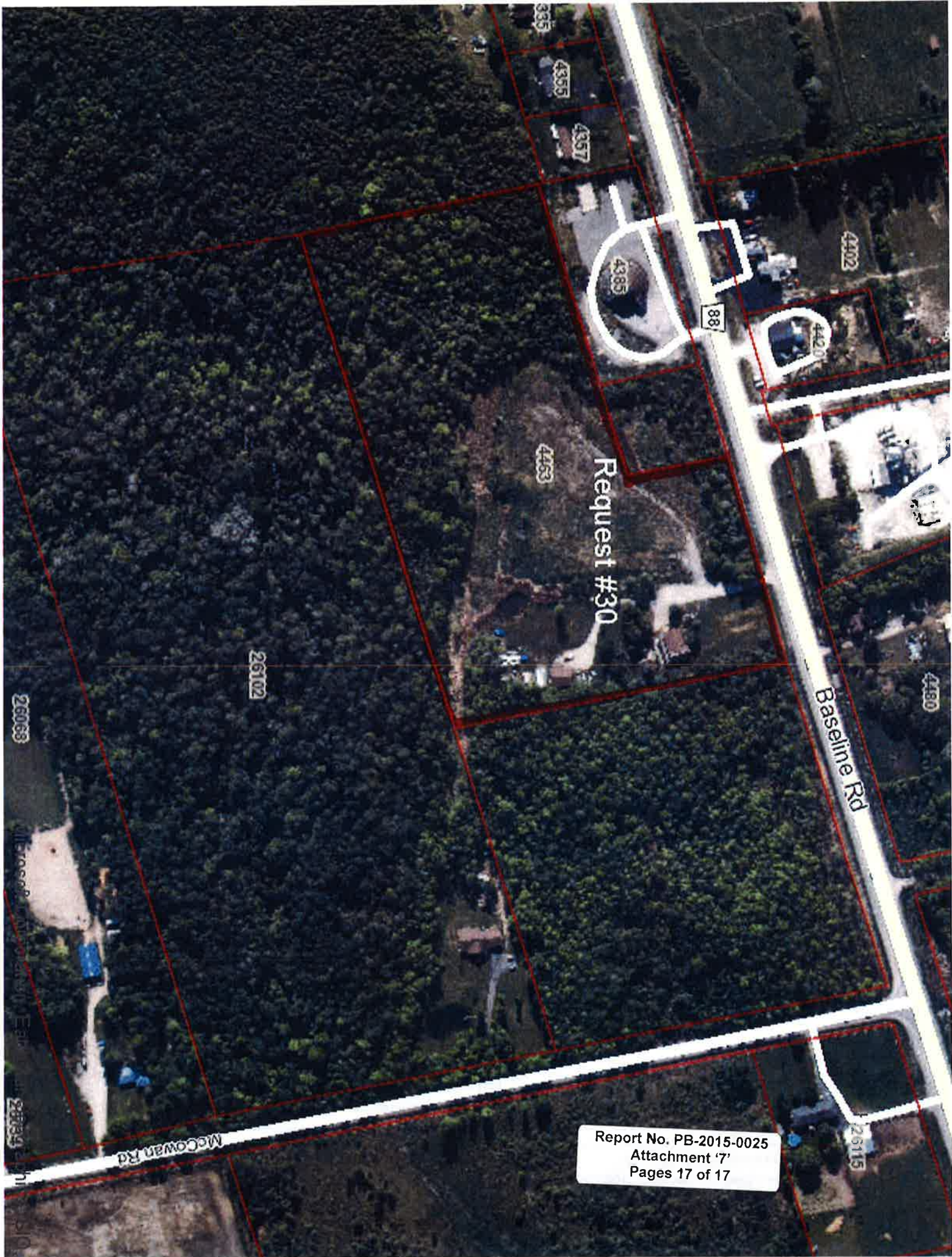
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Request #25

Deer Park Dr

Report No. PB-2015-0025
Attachment '7'
Pages 16 of 17



Request #30

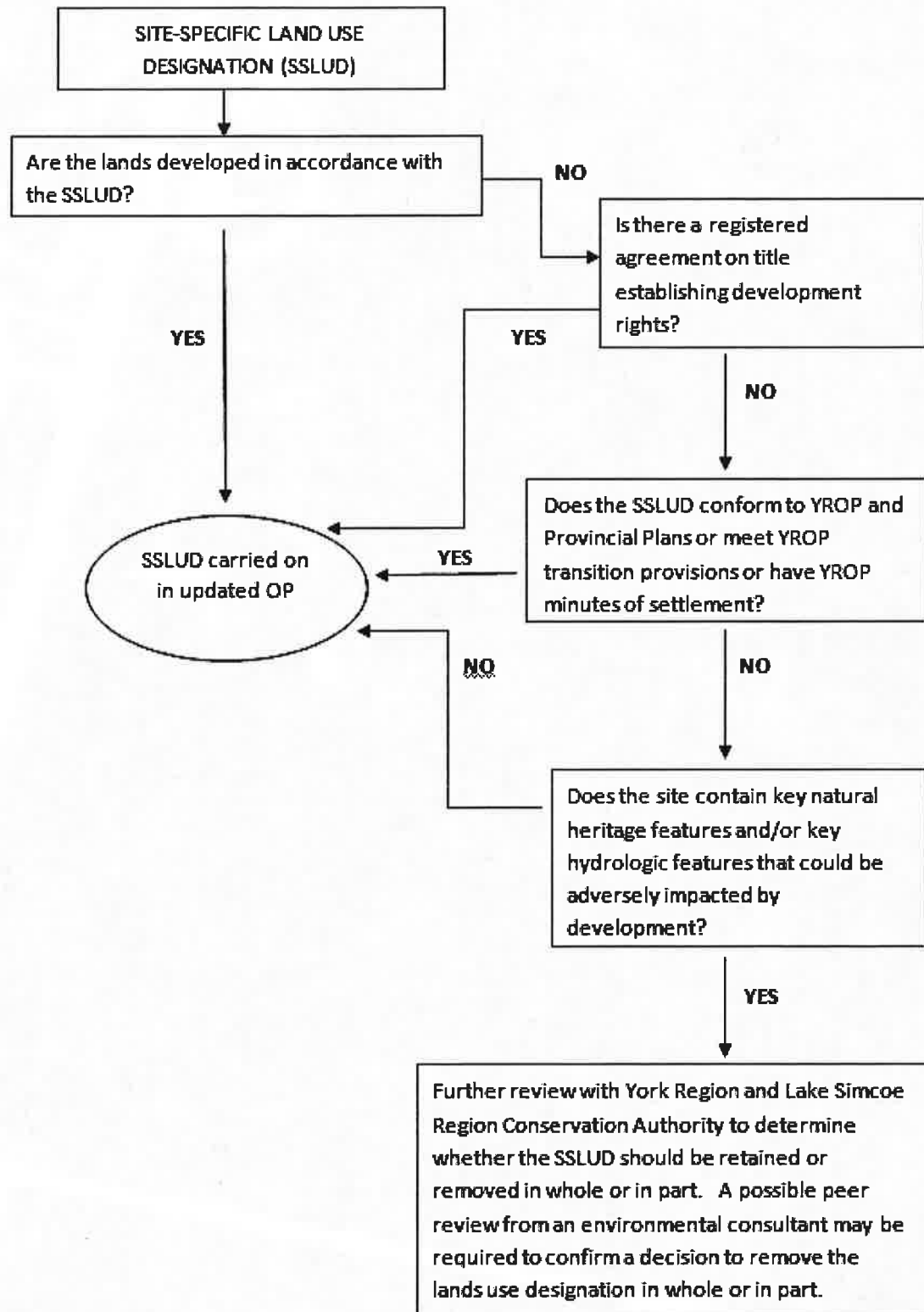
Baseline Rd

McCowan Rd

Report No. PB-2015-0025
Attachment '7'
Pages 17 of 17

This protocol is illustrated in the figure below.

Figure 1 – Protocol Flowchart for the Review of Site-Specific Land Use Designations



Site Specific Land Use Designation Recommendations

No.	Location	Greenbelt Plan	York Region Official Plan	Town OP	Zoning	Additional Planning Approvals	Property Status	Recommendation	No
1	Part Lot 23, Con. 4	NHS	Agricultural, Greenlands System, Wetlands, Woodlands	RC	C2-21		Vacant	Remove RC designation from natural hazards located on east side and wetlands on west side of property (to be designated EPA)	1
2	Part Lot 25, Con 2 (26061 Woodbine)	NHS	Agricultural, Greenlands System, Wetlands, Woodlands	CR	C5		Military Museum	Museum on small portion of land surrounding it to remain in CR designation Remainder of CR designation property removed and placed in EPA designation	2
3	Part Lot 20, Con. 4	NHS	Agricultural, Greenlands, wetlands/woodlands east end of property	RI	M1		Vacant	Remove RI designation from wetland, woodlands & floodplain and place into EPA designation	3
4	Part of Lot 1, Concession 5 (14 Ellisview Rd)	NHS	Agricultural, Greenlands system, woodlands, unevaluated wetland	RI	M1-14		Legal non conforming single detached dwelling	Remove RI designation from woodlands and wetland and placed in EPA designation	4
5	Part Lot 16, Con. 4	NHS	Agricultural, Greenlands, Wetlands, Woodlands	RI	M1-12	ZBA 1989	Shed	Remove RI designation from wetlands and wetland and place in EPA designation	5
6	Part Lot 22, Con.3	Majority NHS	Agricultural, Majority Greenlands, Wetland, Woodlands	ERA	ER and OS	OPA # 63 (1991)	Vacant	Remove entire ERA designation Features to be designated EPA and remainder to be placed in Agricultural designation	6
7	Part Lot 10, Con.4 (24303 Woodbine)	Majority NHS	Agricultural, Majority Greenlands, Wetland, Woodlands	ERA	RU	Subdivision file closed by Region in 2008	Vacant	Remove entire ERA designation Features to be designated EPA and place remainder in Agricultural designation	7
8	Part Lot 23, Con. 6 (4463 Baseline Rd.)	NHS	Agricultural, Greenlands System, woodlands, unevaluated wetland	RI	M2		Shop	Woodlands on west side and wetland to be removed from RI designation and placed in EPA designation	8

Notes:

Greenbelt Plan

NHS - Natural Heritage System

Town OP Land Use Designation (Existing)

EPA - Environmental Protection Area

ERA - Estate Residential Area

CR - Commercial Recreation

RC - Rural Commercial

RI - Rural Industrial

Zoning (Existing)

C2 - Highway Commercial

C5 - Tourist Commercial

M1 - Restricted Industrial

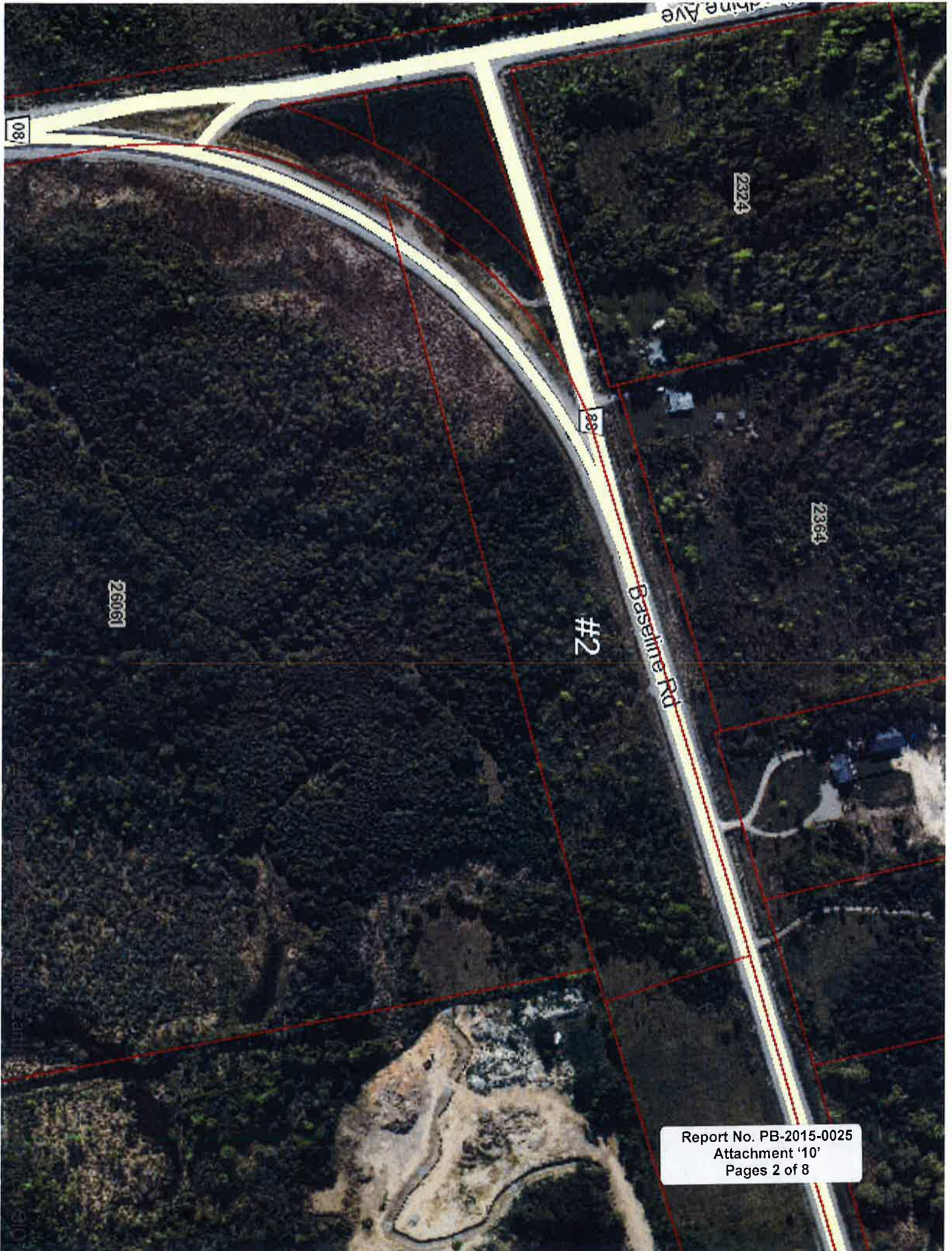
M2 - General Industrial

ER - Estate Residential

OS - Open Space

RU - Rural







Woodbine Ave

126037

26061

#3

Report No. PB-2015-0025
Attachment '10'
Pages 3 of 8

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#7

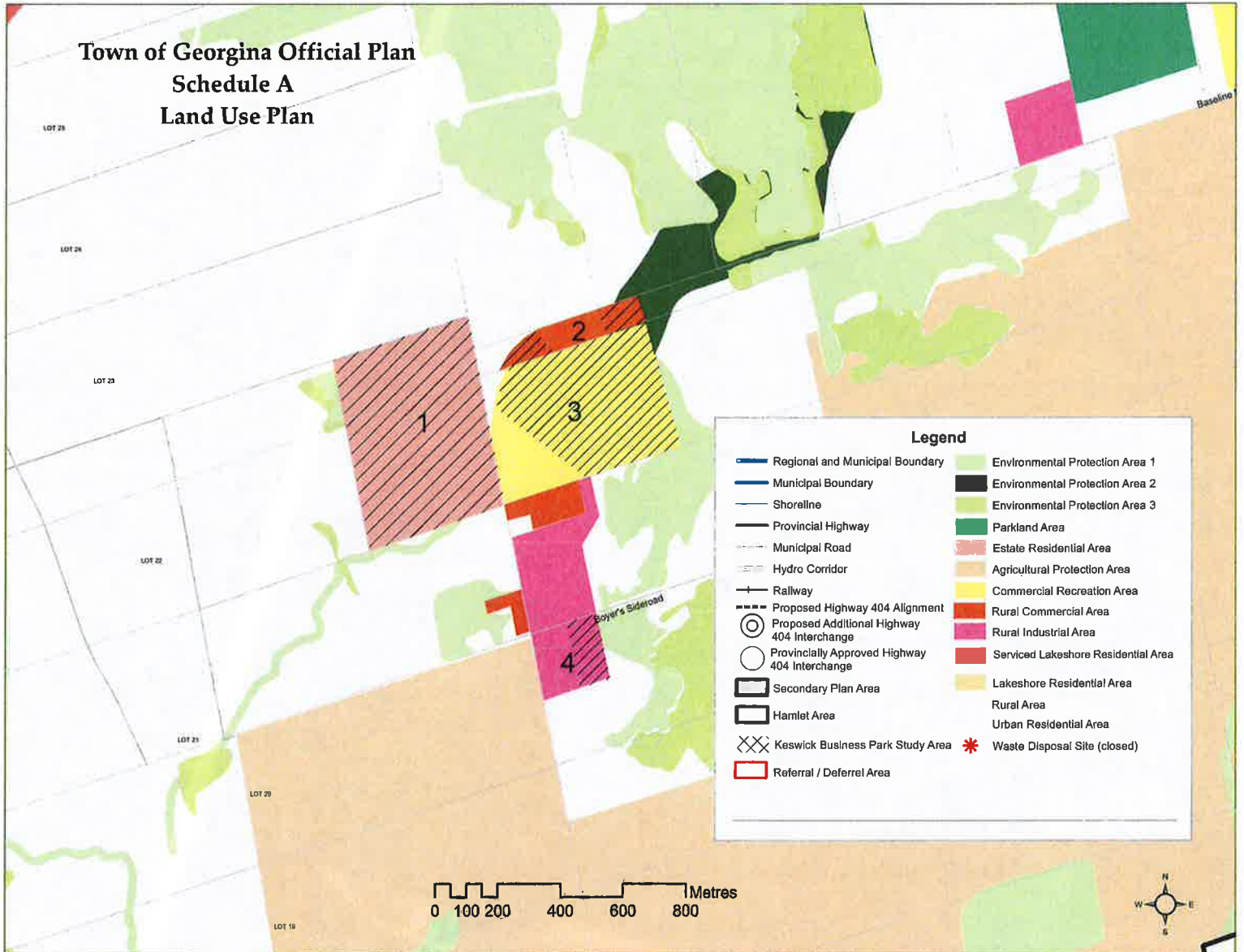
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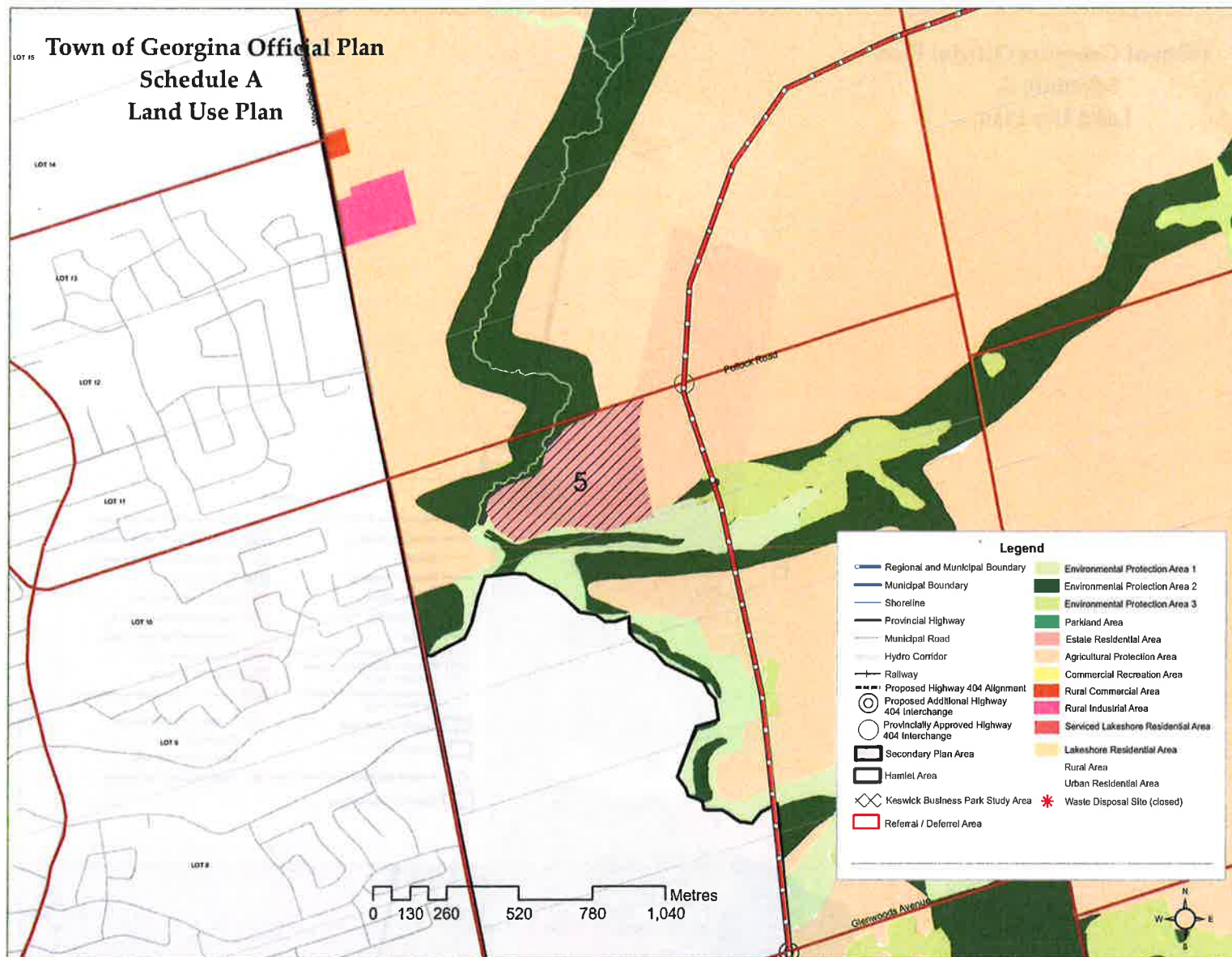
Elmsview Rd

Report No. PB-2015-0025
Attachment '10'
Pages 7 of 8





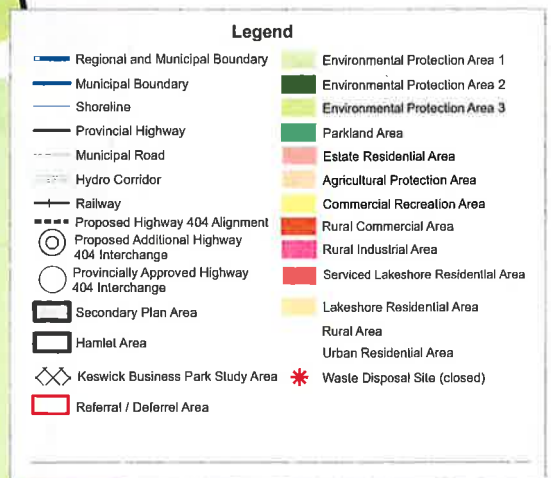
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Designation to be removed
(approximate)



Hatched Area –
Designation to be removed
(approximate)

**Town of Georgina Official Plan
Schedule A
Land Use Plan**

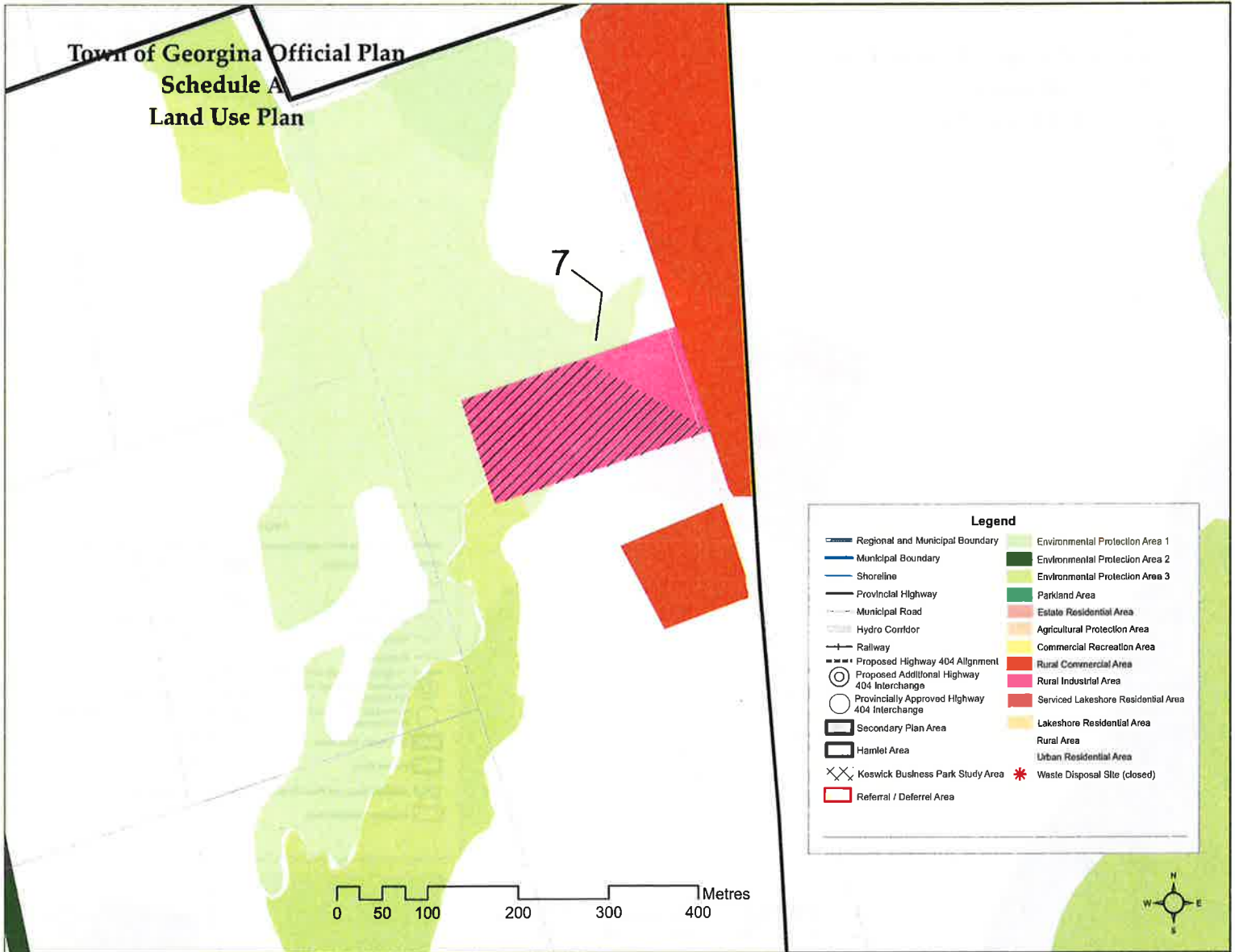
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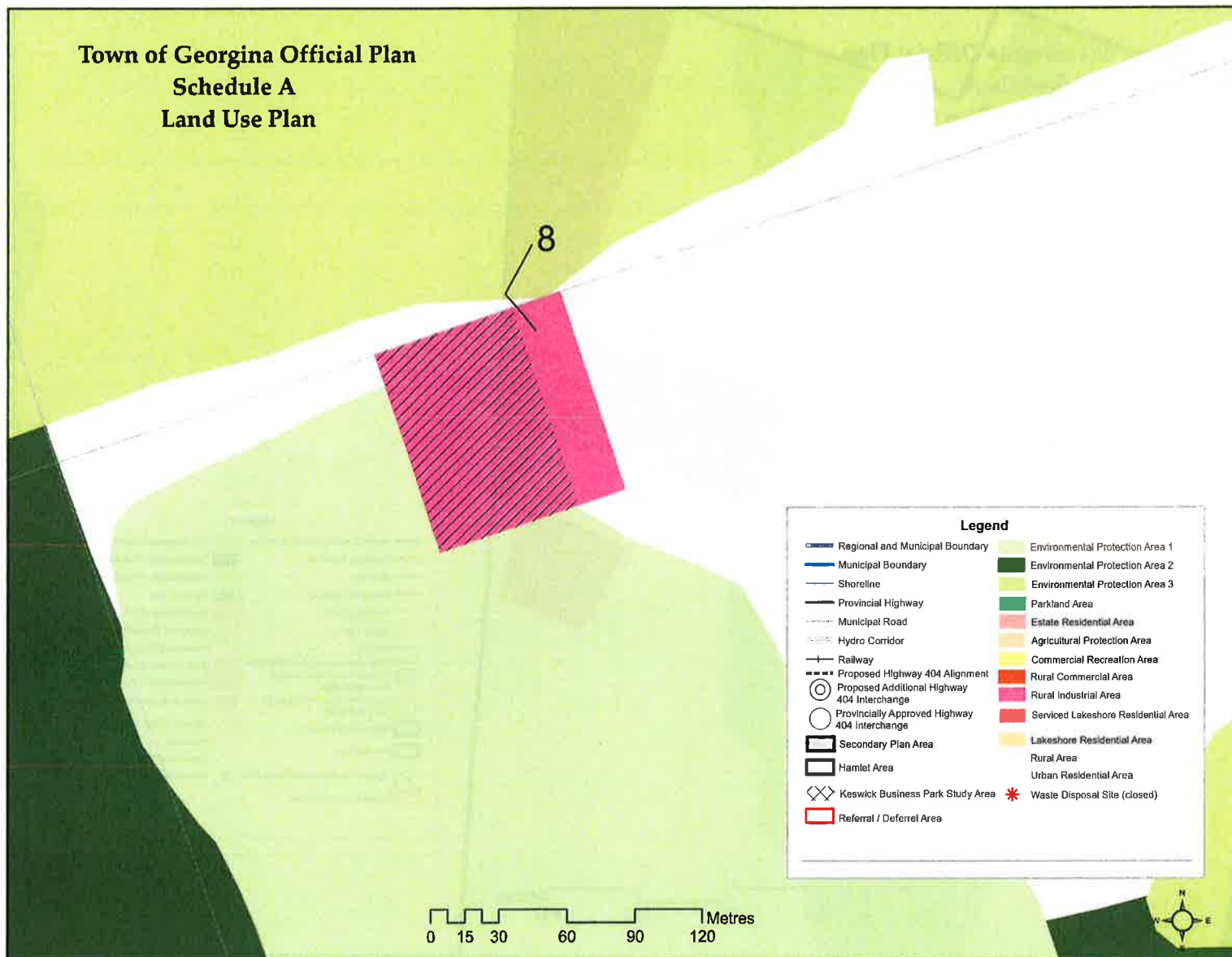


Hatched Area –
Designation to be removed
(approximate)



Hatched Area –
Designation to be removed
(approximate)

**Town of Georgina Official Plan
Schedule A
Land Use Plan**

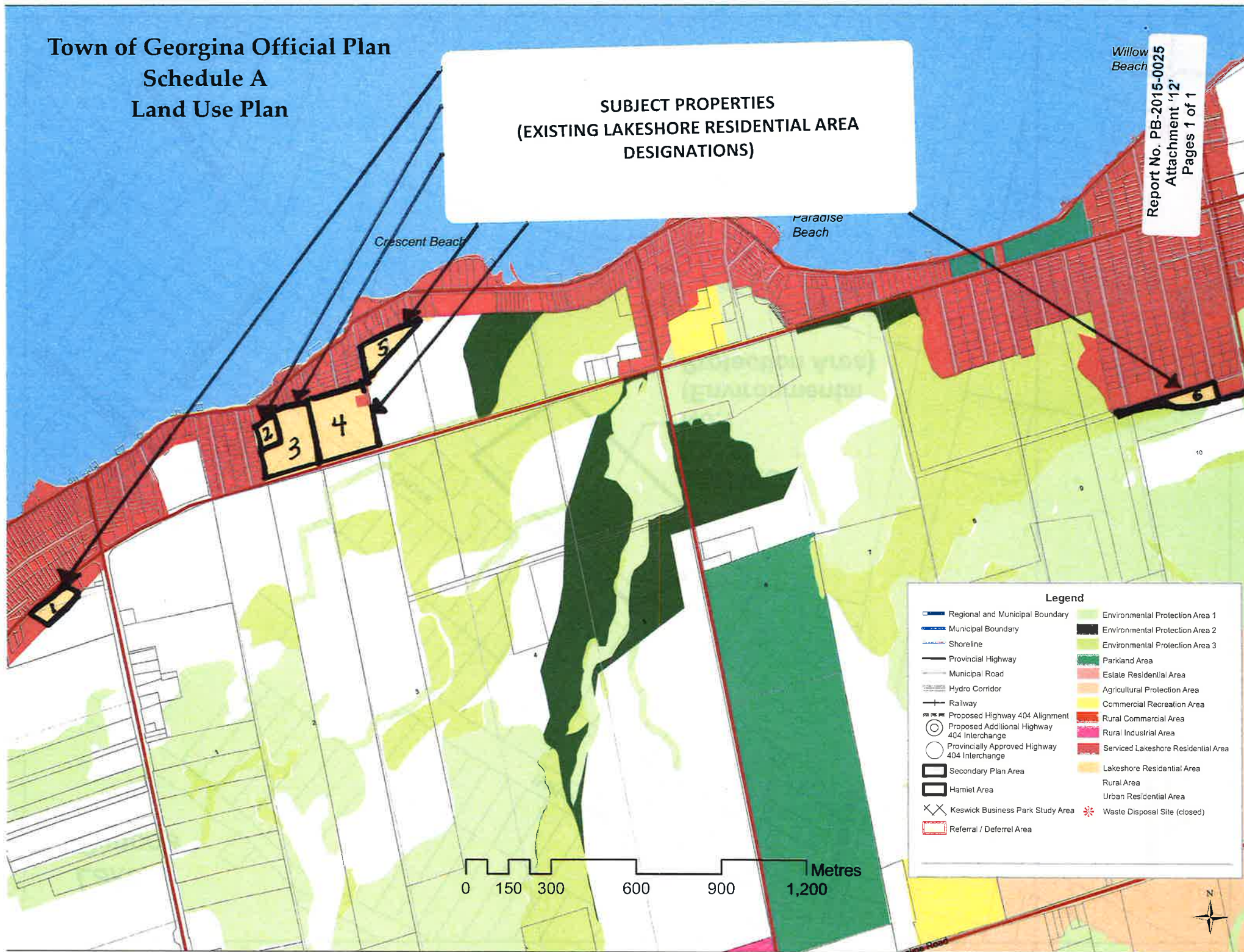


Hatched Area –
Designation to be removed
(approximate)

Town of Georgina Official Plan Schedule A Land Use Plan

**SUBJECT PROPERTIES
(EXISTING LAKESHORE RESIDENTIAL AREA
DESIGNATIONS)**

Report No. PB-2015-0025
Attachment '12'
Pages 1 of 1



Legend	
	Regional and Municipal Boundary
	Municipal Boundary
	Shoreline
	Provincial Highway
	Municipal Road
	Hydro Corridor
	Railway
	Proposed Highway 404 Alignment
	Proposed Additional Highway 404 Interchange
	Provincially Approved Highway 404 Interchange
	Secondary Plan Area
	Hamlet Area
	Keswick Business Park Study Area
	Referral / Deferrel Area
	Environmental Protection Area 1
	Environmental Protection Area 2
	Environmental Protection Area 3
	Parkland Area
	Estate Residential Area
	Agricultural Protection Area
	Commercial Recreation Area
	Rural Commercial Area
	Rural Industrial Area
	Serviced Lakeshore Residential Area
	Lakeshore Residential Area
	Rural Area
	Urban Residential Area
	Waste Disposal Site (closed)

Lake
Simcoe

Barton Avenue

Woodbine Avenue

Cottage Grove

**SUBJECT
LAND
No.1
(Environmental
Protection Area)**

Willoughby Boulevard

Sheppard Avenue

Lennox Avenue

Metro Road North



Lake
Simcoe

Lake Drive East

Elmwood Street

Isle View Road

Jubilee Road

**SUBJECT
LAND
No.2
(Rural)**

**SUBJECT
LAND
No.3
(Rural)**

Metro Road North



Lake
Simcoe

Lake Drive East

Jubilee Road

Trivett's Road

Isobel Avenue

Isleview Road

Elmwood Street

**SUBJECT LAND
No.5(b)
(Rural Area)**

**SUBJECT LAND
No.5(a)
(Served Lakeshore
Residential Area)**

**SUBJECT LAND
No.4(a)
(Served Lakeshore
Residential Area)**

**SUBJECT LAND
No.4(b)
(Environmental
Protection Area)**

Metro Road North



SUBJECT LAND
No.6
(Environmental
Protection Area)

